



**TOWN OF SUMMERVILLE
DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Summerville Council Chambers or Zoom Virtual Meeting
October 15, 2020 4:00 p.m.**

Approval of September 17, 2020 meeting Minutes

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

1. **113 N. Magnolia Street – Redevelopment of the property for a 1 story 5,660 sf office building (D-MX)**
The applicant is requesting Preliminary Approval
2. **Freddy's Frozen Custard – New 3,010 sf restaurant with drive-thru (UC-MX)**
The applicant is requesting Preliminary Approval

NEW BUSINESS:

1. **1706 Old Trolley Road – Request to allow a shipping container to be placed on the property (UC-MX)**
The applicant is requesting Final Approval
2. **Signs:**

Miscellaneous:

1. **Mixed Use Zoning - Discussion on Design Guidelines and UC-MX, D-MX and N-MX**

ADJOURN:

Posted October 8, 2020

**Design Review Board Minutes
Thursday, September 17, 2020
Zoom Virtual Meeting**

Members Present:

Bill Beauchene
Chris Campeau
Chris Karpus
Hart Weatherford
Candace Pratt

Staff Present:

Tim Macholl, Zoning Administrator
Jessi Shuler, Director of Planning
Rebecca Brown
Rich Palmer
Matt Halter

Items on the agenda:

OLD BUSINESS:

1. **Limehouse Village Amenity Center – Proposed Amenity Center for the Limehouse Village Subdivision on Dorchester Road (PUD)**

The applicant is requesting Final Approval

NEW BUSINESS:

1. **1200 N Main Street – Façade improvements for the former Sticky Fingers Restaurant (G-B)**
The Applicant is requesting Conceptual Review
2. **South Pointe Apartments – 228 Unit Multi-Family development at South Pointe Boulevard (MF-R upon annexation)**
The applicant is requesting Conceptual Review
3. **Freddy's Frozen Custard – New 3,010 sf restaurant with drive-thru (UC-MX)**
The applicant is requesting Preliminary Approval
4. **105 Midland Parkway – redevelopment to a Freestanding 6300 Square Foot Optometry Office (UC-MX)**
The applicant is requesting Conceptual Review
5. **113 N. Magnolia Street – Redevelopment of the property for a 1 story 5,660 sf office building (D-MX)**
The applicant is requesting Conceptual Review
6. **114 Farm Road – addition of 7,500 sf office to the property (G-B)**
The applicant is requesting Conceptual Review
7. **Signs:**

Miscellaneous:

NONE

The meeting was called to order at 4:01 pm by the Chairman.

Mr. Campeau asked for consideration of the August 20, 2020 meeting minutes. Mr. Beauchene made a motion for approval of the minutes and Mr. Weatherford seconded. The motion carried 4-0.

OLD BUSINESS

1. **Limehouse Village Amenity Center** – The first item under Old Business was a request for Final Approval of a proposed new Amenity Center at Limehouse Village subdivision off of Dorchester Road. Mr. Macholl introduced the project and addressed staff's comments. Mr. Jason Hutchinson, Mr. Mike Penrose, Mr. Mathew Malone and Mr. Jesse Solomon represented the project. Mr. Hutchinson pointed out that they had addressed the Board's comments from the previous meeting. Mr. Solomon addressed the sodding issue. Mr. Penrose pointed out that they had added the larger overhang, and the gable vents had been added. He explained that they had not changed the roof color because they wanted to keep a cohesive design throughout the development and the roof type had been used on other buildings in the development. Mr. Campeau stated that a black roof would be more appropriate. Heat attraction would not be an issue because it is not conditioned space. Mr. Beauchene felt that the galvalume finish was appropriate. Ms. Pratt felt that the roof as shown was appropriate. Mr. Karpus thought that a black roof would have too much contrast. Mr. Weatherford thought that it looked good overall.

Mr. Karpus made a motion for Final Approval. The motion was seconded by Ms. Pratt. The motion passed unanimously 5-0.

NEW BUSINESS

1. 1200 N Main Street – The first item under New Business was a request for Conceptual Review of a proposed façade renovation of the Former Sticky Fingers restaurant building located at 1200 N Main Street. Mr. Macholl introduced the project. Mr. David Shook addressed the Board. He explained that they are trying to bring a cohesive design to the building which has seen multiple renovations over the years. They intend to remove the walk-in cooler and sidewalks, add some foundation plantings, and planters and ADA parking spaces. The intent is to screen service area and add future outdoor dining. He explained that there are actually three different roof lines on the building and they want to clean that up. Add metal awnings, and keep a similar color scheme with beige and green. Mr. Campeau asked about staff comments. Mr. Macholl addressed the board, explain that the corner accent is not required and be waived by the board. It was just being pointed out by staff that there was an opportunity to address the corner, and meet the intent of the UDO. Mr. Karpus appreciated the effort to bring a cohesive design to the entire building, instead of having three different designs. He suggested instead of structural changes to the building maybe accent the corner utilizing color or materials. He suggested changing from the old green awnings to a more modern black. It was suggested that a wall would help screen the outdoor dining area from the dumpster enclosure better. Mr. Campeau suggested altering the canopies to be located only over the windows, not drawn across the entire façade. He recommended against using the Berkeley Circle side of the building as the basis for the design. Ms. Pratt suggested removing some of the awning on the Main Street side, leaving sections only over the windows. Mr. Karpus felt that adding some color would help, but not horizontal stripes, maybe materials or accenting the window sills. The owner told the board that they would work to address the comments.

This being Conceptual Review there was no vote.

2. South Pointe Apartments – The next item under New Business is a request for Conceptual Review of a proposed new 228 unit apartment complex to be located on both sides of South Pointe Boulevard. Mr. Macholl introduced the project. Mr. Josh Lilly, Mr. Mark Mills, and Mr. Bill Peebles represented the project. Mr. Lilly explained the project. It will consist of 8 buildings and five garage structures on 16+ acres. The project was a Planning Commission to consider the Annexation and zoning of the property. He explained that this would be the final piece of the South Pointe Master Plan. There are no Jurisdictional Wetlands on the property, so no Army Corps of Engineers approval is required. The traffic Impact Analysis has been started. They are working with Dan Ryan Homes on the improvements, which are anticipated to begin in early 2021. They anticipate the road improvements to be completed before construction starts on the complex. Mr. Mills explained that the buildings are standard three story buildings, wood frame, with a hip roof. They added depth to the façade with balconies. Materials include brick and fiber cement siding. Lighter colors on the siding, both horizontal and board and baton. Brick is to be a darker brown brick with lighter accents. For contrast the railings will be black. Metal roofs will be over the entrances. Windows will have grilles, and there will be overhangs.

Mr. Campeau asked about the entrance to the neighborhood and if will be in keeping with prior plans. Mr. Peebles explained that based on the Master Plan that they had this property was always considered for commercial development but it was never given details. Mr. Campeau asked about the only access being on South Pointe Boulevard and none on Finucan Road. He asked if this was an appropriate look and feel for the front of this neighborhood. He suggested the possibility of flipping the buildings and parking. Possibly adding a heavier buffer and or walls to provide additional screening. He insisted that without a tree survey and overlay it was difficult to assess the impact of the plan. It looked like the left side would need to be clear cut to accommodate the proposed development. He pointed out that there was a lot of wetland being filled. He stated he was really struggling with the appropriateness of this development at this location. Mr. Peebles addressed the tree comments stating that this is mostly pines, and that he didn't think that there were many large trees on-site because it is old farm land. He stated that OCRM prefers ponds in wetland fill areas. Mr. Lilly stated that Finucan is a substandard road that goes back to some single-family lots. Mr. Weatherford asked if the zoning was appropriate for this use. Mr. Lilly stated that they had applied for annexation and zoning to Multi Family Residential. Mr. Weatherford expressed a desire to have a color rendering of the proposed buildings. He wanted to see a good mix of materials. He felt that the challenge of the site is the conflict of uses and that the TIA would be important. Mr. Beauchene thought that it might help to swap the buildings and parking on the west side of the street. Ms. Pratt objected to that suggestion feeling that it would change the nature of the Boulevard. Mr. Karpus felt that it would be problematic for current residents, and that a deeper buffer would be more appropriate. Mr. Lilly pointed out the 30 foot buffers and that there would still be 28 feet from the back of the proposed garages. Mr. Campeau suggested street trees, and more pedestrian connectivity, maybe a trail.

This being Conceptual Review there was no vote.

Ms. Pratt asked what the plan was for the corner excluded from the plan. Mr. Peebles addressed the question stating that the owner is retaining that corner, and that Dan Ryan Homes is adding left and right turn lanes to 78.

3. Freddy's Frozen Custard – The third item under New Business is a request for Preliminary Approval for a proposed 3,010 sf restaurant with a drive-thru. Mr. Macholl introduced the project and detailed the staff comments. Mr. Mike Lukus, Mr. Roger Baker and Mr. Chad Billings represented the project. Mr. Lukus introduced the project, explaining that it is a 3,000 sf restaurant, that the required TIA had been completed. The results required better striping for the development of the project. Because of the parking requirements they will be providing 10 pervious parking spaces. The order menu is placed to the rear of the building to meet the UDO requirement. He stated that adding trees to the islands is not a problem, and that the requested sidewalk connection would also not be a problem. He explained that the Photo Metric Plan was being worked on and would be submitted with the next review. To address staff comment regarding the dumpster enclosure, it would be constructed to match the proposed building. He also stated that the removal of the Palmettos can be done. Mr. Baker described the building. He explained that it was designed to Freddy's standard. There are red and white awnings, Taupe EIFS and some red brick. Mr. Campeau addressed the applicants he said that he felt that the site issues were easily fixable. The architecture though did not have a lowcountry design. He felt that the proposed building would not be unique to Summerville and that it looked like every other Freddy's regardless of location. He felt that the brick columns were oversized. Generally the building did not fit into the Town. No neon would be permitted, brackets would be a nice touch. He suggested looking at the Bojangles rebuild on N. Main Street to get an idea. Ms. Pratt agreed. She felt that more brick was necessary, suggested a covered porch and a better mix of materials. Mr. Beauchene said it looked to prototypical. Mr. Karpus said that it was not appropriate for the lowcountry, the stucco should be an accent material only, he suggested thinking about Mt. Pleasant and Charleston. Mr. Weatherford agreed with the other board member's assessments.

Mr. Beauchene made a motion to Deny Preliminary Approval. The motion was seconded by Ms. Pratt. Additional discussion addressed the fact that the architecture really didn't fit in with the lowcountry. Mr. Weatherford stated he was good with the site but not the architecture of the building. Mr. Campeau informed the applicant that the building was just too far away to be granted Preliminary Approval. The motion passed 4-1 with Mr. Weatherford voting against.

4. 105 Midland Parkway – The fourth item under New Business is a request for Conceptual Review of a proposed redevelopment of the property at 105 Midland Parkway for the construction of a 6,300 SF optometry office. Mr. Macholl introduced the project and read the staff comments. Mr. John Powell represented the project. He explained that the DOT had given preliminary approval to relocate the existing drive further down on Midland Parkway away from the Publix access. The old existing carwash building would be demolished to make way for the new office. He explained that the building was oriented facing Midland. They had to reduce the parking on site to meet the parking requirements. The design of the building, being an optometrist's office created some issues meeting the UDO opacity requirement for the first floor. The bricked windows were disguised using Bahama Shutters. He walked the board through the proposed elevations with the provided renderings. He showed how the areas where windows should be would have a herringbone inlay to give in impression of penetration. Ms. Pratt explained that she would have to recuse herself from the discussion of the project. Mr. Beauchene pointed out that the buffer may have to be increased along the eastern property line. He stated that he preferred a red brick. Mr. Karpus thought that it looked great. He also felt that a different color brick may be appropriate. He didn't feel that changing the color of the headers helped. He liked the board and baton and thought louvers were needed in the gable end. Mr. Weatherford asked if this was for Conceptual Review. Mr. Macholl said yes. Mr. Campeau felt that the building had good massing, that the applicant should look at the buffering, but that overall he was supportive. Mr. Powell asked if the shutters would meet the intent of the ordinance. If they would be an acceptable alternative. Mr. Karpus addressed the question directly stating that it was a good alternative, with a really nice application.

This being Conceptual Review there was no vote.

5. 113 N. Magnolia Street – The fifth item under New Business was a request for Conceptual Review of a proposed one story 5,660 SF office building proposed for the corner of N. Magnolia and E. 1st North Street. Mr. Macholl introduced the project. Mr. David Thompson and Mr. Cameron Baker represented the applicant for the project. Mr. Thompson described the project, explaining that they intend to demolish the existing home and place the office at the corner, to anchor it and meet the UDO requirement for D-MX. Mr. Baker addressed the TRC Comments. They had shifted the detention to keep it out of the grand oak critical root area, pervious pavers would be used in the dripline of the tree, and he stated that they really wanted to preserve the tree. Mr. Thompson explained that the building wraps the corner. It is a speculative building with tenants to be determined. The massing is broken up at the tenant space change. There is depth and projection at the entrances to the units. Steel and wood awnings would be on the rear

and the sides of the building. He said that he felt it had a more residential feel. He described the building materials including bricks, vertical shiplap siding, cor 10 steel to accent the office entrance and black aluminum storefront windows. Mr. Campeau asked what the arborist said about the tree. Mr. Baker addressed the question stating that both the 38 and 46 inch oaks were in good condition. The arborist recommended not removing the trees. Mr. Campeau expressed a concern with the dead end parking, he felt that there may be too much encroachment on the tree because historically there had been very little on-site coverage. Mr. Beauchene asked if this was located in a fire district, and pointed out that the end wall would have to be fire rated because it is less than 10 feet from the property line. Mr. Karpus had no real comments on the site. He did address the building and materials and felt that they had tried to balance commercial building with residential materials, but felt it leaned more towards the commercial. He felt it may be too contemporary for the area. Ms. Pratt felt similarly that the site was ok, but the architecture in this area was going to be the biggest challenge. Mr. Campeau addressed the applicant and let them know that this is and has been a residential area, and that the proposed building maybe should reflect that character. He didn't think it had to look like a house, but maybe pull some residential details. Mr. Beauchene said that the board did not have an objection to the transition to commercial. Mr. Karpus suggested possibly some roof line changes.

This being Conceptual Review there was no vote.

6. 114 Farm Road – The sixth item under New Business was a request for Conceptual Review of a proposed new 7,500 SF office building to be added to the property. Mr. Macholl introduced the project. Mr. Gene Brislin represented the project. Mr. Brislin displayed photos and explained that this is a unique situation in that the original buildings were developed in the County and the property was recently annexed for sewer and water. He explained that Farm Road had been cut off from Bacons Bridge when it was improved and was now a private road. He said that there is existing landscaping that is not shown on the plan to address staff comment concerning landscaping. He tried to create a buffer and that the drainage easement may force the building to move about 10 feet north from where it is shown. He explained that the access easement for the cell tower had been renegotiated, and that the architecture had changed. They are proposing Board and baton siding with a wainscoting, and that awnings would be included. The owner wanted to match the other buildings. Mr. Campeau asked which side is facing Farm Road in the elevations and asked if it was visible from Bacons Bridge. Mr. Brislin indicated it would not be visible from Bacons Bridge Road. Mr. Beauchene had no real comments. Mr. Weatherford asked if the addition of the building would trigger stormwater requirements. Mr. Brislin said that no the disturbance would be below a half acre. Ms. Pratt was fine with the presentation. Mr. Karpus suggested making the wainscoting more solid. Mr. Campeau asked that no palms be used in the landscaping, and that he recommended canopies over any doors.

This being Conceptual Review there was no vote.

MISCELLANEOUS:

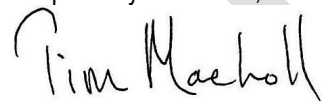
There were no items under miscellaneous.

ADJOURN:

There being no further business, the meeting was adjourned at 6:40 PM on a motion by Mr. Beauchene and a second by Ms. Pratt. The motion passed unanimously.

Respectfully Submitted,

Date: _____



Tim Macholl
Zoning Administrator

Approved: Chris Campeau, Chairman _____; or,

Michael Gregor, Vice Chairman _____

**STAFF REPORT
CDRB Meeting
October 15, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: October 7, 2020

GENERAL INFORMATION

Applicant: David Thompson Architect
Property Owner: Henry Capers
Requested Action: The applicant is requesting Preliminary Approval of a proposed 5,660 square foot multi-tenant office building
Requested Approval: Preliminary Approval
Existing Zoning: D-MX Downtown Mixed Use
Adjacent Zoning: **North:** D-MX Downtown Mixed Use
South: D-MX Downtown Mixed Use
East: D-MX Downtown Mixed Use
West: D-MX Downtown Mixed Use
Location: 113 N Magnolia Street
Existing Land Use: Residential
Prior Approvals: Conceptual Review 9/17/2020

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review the following comments must be addressed to meet requirements. Consider requesting angled parking on N. Magnolia St. The Engineering Department is requesting that the proposed sidewalks on the property extend the full width of the property on both Magnolia and 1st. Additionally, the proposed sidewalk on 1st should be wholly placed within the public ROW as opposed to straddling the property line. A Photo Metric Plan has not been submitted. As noted in the prior staff report, the Ground Floor does not meet the 65% transparency requirement of Section 4.2.9 A. This requirement can be waived by the Board. The building provides a mixture of exterior finishes, including vertical shiplap siding and brick.

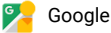


109 County Rd S-18-208
Street View

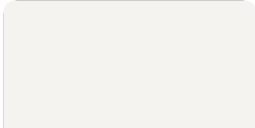


Image capture: Nov 2015 © 2020 Google

Summerville, South Carolina



Street View



Google Maps 109 County Rd S-18-208



Image capture: Nov 2015 © 2020 Google

Summerville, South Carolina



Street View

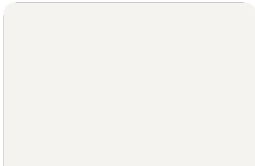
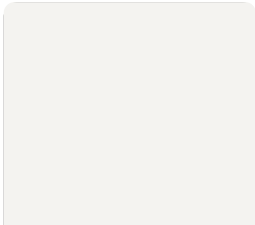




Image capture: Aug 2019 © 2020 Google

Street View





6 VIEW NORTHEAST
G102 SCALE: N/A



4 PROJECT SITE
G102 SCALE: N/A



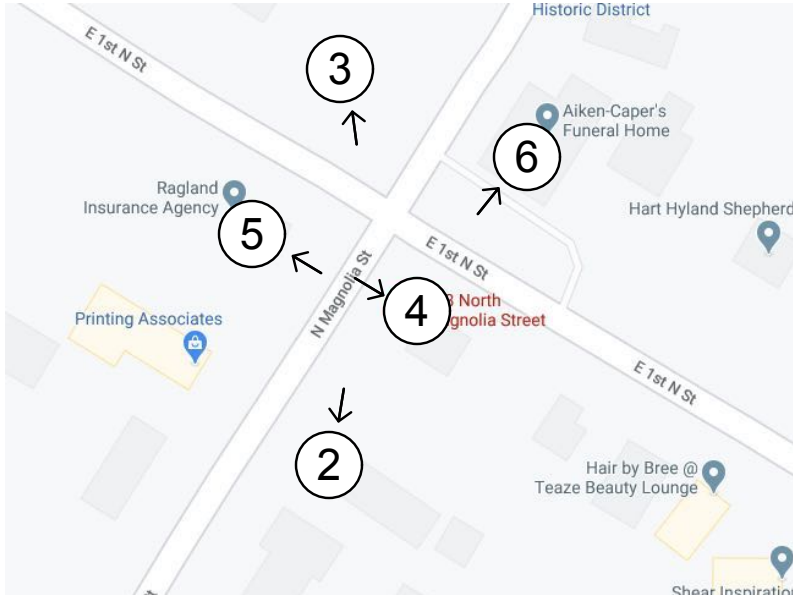
2 VIEW SOUTH
G102 SCALE: N/A



5 VIEW NORTHWEST
G102 SCALE: N/A



3 VIEW NORTH
G102 SCALE: N/A



N 1 LOCATION MAP
G102 SCALE: N/A



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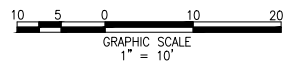


ISSUED DATE / REVISIONS
SCHEMATIC DESIGN - 08.28.20
CDRB CONCEPT - 08.28.20
CDRB PRELIMINARY - 09.23.20

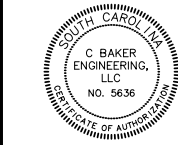
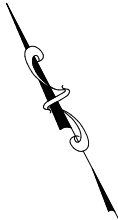
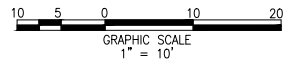
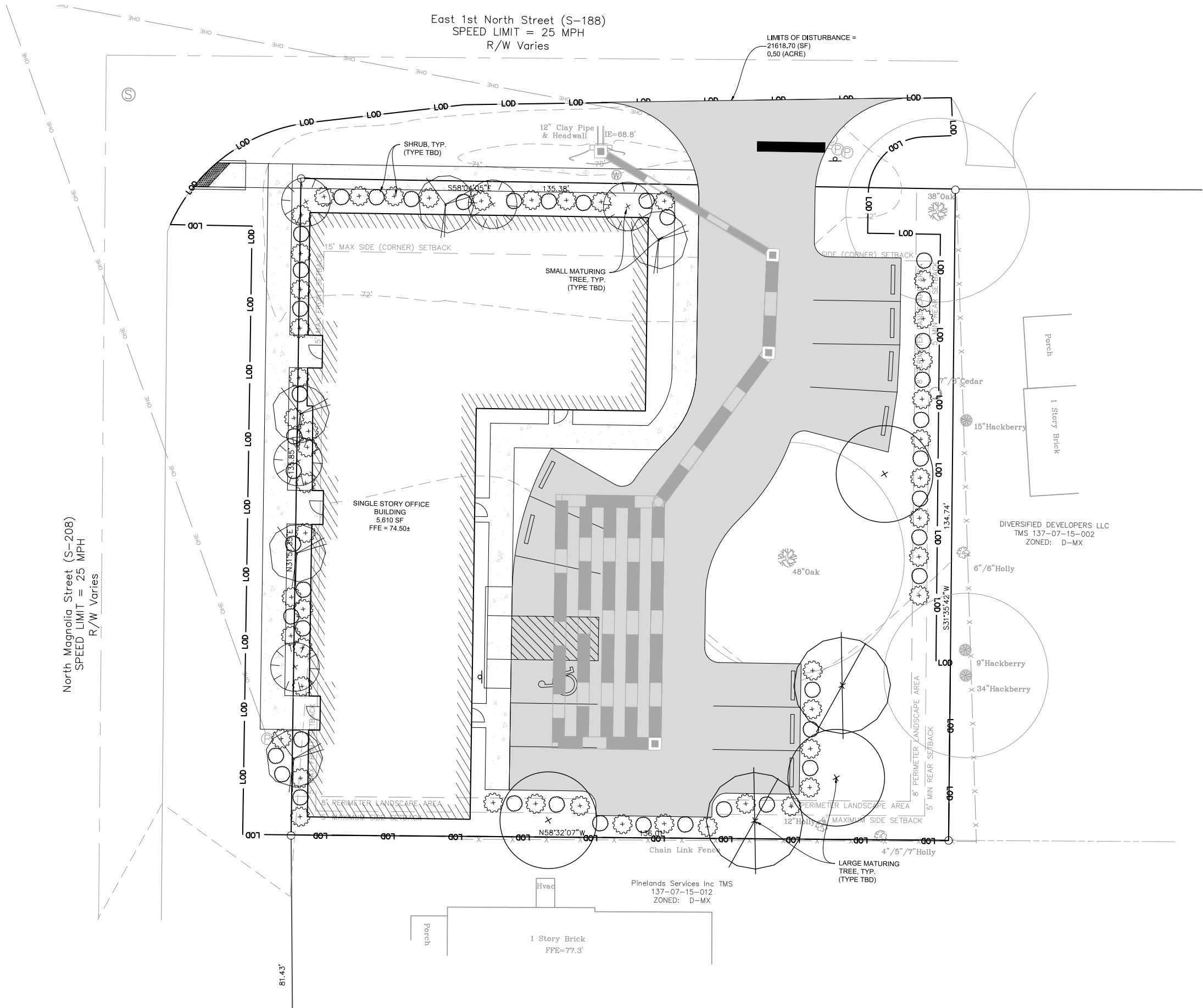
OFFICE BUILDING
113 North Magnolia St
Summerville, SC 29483



1. PROPERTY INFORMATION:
 - 1.1. DORCHESTER COUNTY TMS. NO 137-07-15-001
 - 1.2. JURISDICTION: TOWN OF SUMMERVILLE, SC
 - 1.3. PARCEL ACREAGE: 0.42 ACRES
 - 1.4. ZONED: DOWNTOWN MIXED-USE (D-MX)
2. PROPOSED USE: BUSINESS OFFICE
3. ZONING REQUIREMENTS
 - 3.1. SETBACKS:
 - 3.1.1. FRONT: 0' MIN/5' MAX
 - 3.1.2. REAR: 5' MIN.
 - 3.1.3. SIDE (CORNER): 0' MIN/15' MAX
 - 3.2. MAX DENSITY: N/A
 - 3.3. MAX LOT COVERAGE: 100%
 - 3.4. FRONTAGE BULDOUT: 75% MIN.
 - 3.5. REQUIRED OPEN SPACE: N/A (LESS THAN 5 ACRES)
 - 3.6. PERIMETER BUFFER: N/A
 - 3.7. MAX HEIGHT: 55'
4. PARKING REQUIREMENTS
 - 4.1. LOCATION: REAR YARD
 - 4.2. REQUIRED: NO MINIMUM
 - 4.3. PROVIDED: 13 SPACES (INCLUDING 1 HANDICAP)

[illegible]

C:\Submittals\Construction\113 - 113 North Magnolia Commercial\Estimate\DWG\20.019 Landscape.dwg



PRELIMINARY LANDSCAPE PLAN
113 NORTH MAGNOLIA
STREET COMMERCIAL
SOUTHEASTERN CONSTRUCTION CO.
TOWN OF SUMMERVILLE, SC
TMS NO. 243-00-00-072

REV	DATE	DESCRIPTION
C	9/22/20	PRELIMINARY DRB SUBMITTAL

PROJECT NO.: 20.019
PROJECT DATE: JULY 20, 2020
DRAWN BY: CBB
CHECKED BY: CBB
SCALE: 1" = 10'

SHEET: **L100**

CBAKER
ENGINEERING, LLC
PO BOX 81082
CHARLESTON, SC 29416
843.270.3185
CBAKERENGINEERING.COM

MATERIAL KEY

- 1

ALUMINUM STOREFRONT WINDOWS & DOORS, BLACK
- 2

BRICK VENEER WATERTABLE
- 3

ALUMINUM AND WOOD SHADE CANOPY
- 4

VERTICAL SIDING - GREY-WASHED WESTERN RED CEDAR SHIPLAP
- 5

BRICK VENEER ON METAL STUD WALL

6

GREY-WASHED WESTERN RED CEDAR TRIM

7

GALVANIZED ALUMINUM PARAPET CAP

8

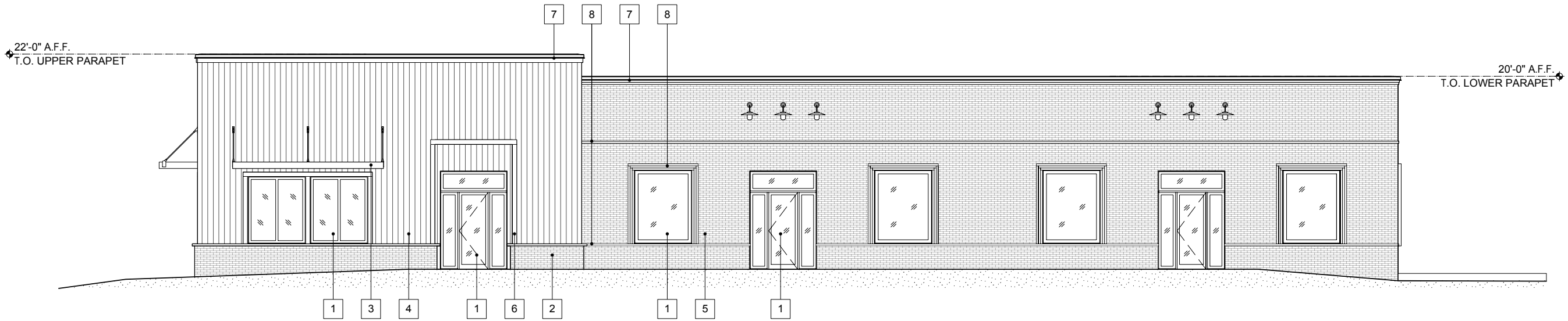
BRICK VENEER ACCENT BAND & WINDOW SURROUND DETAIL

9

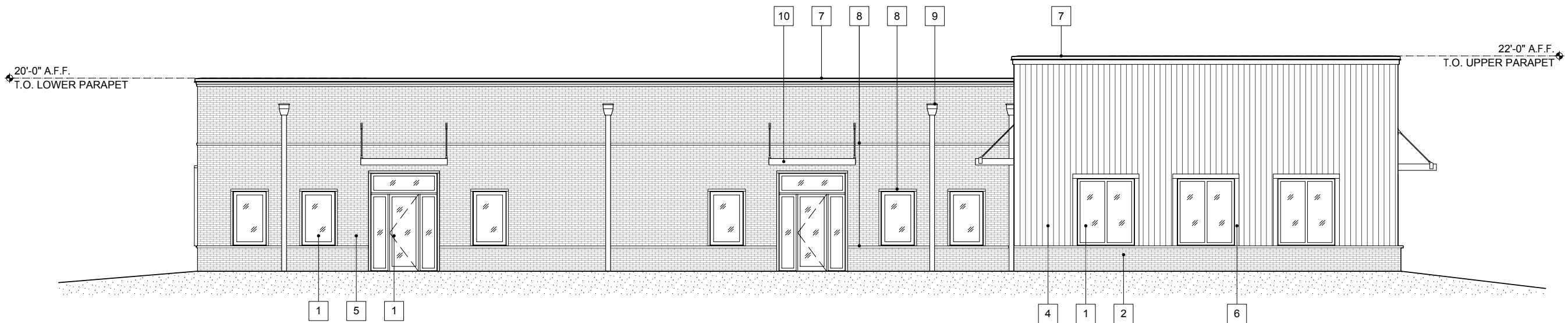
ALUMINUM DOWNSPOUT

10

ALUMINUM FRAME CANOPY



2 EXTERIOR ELEVATION- NORTH
A201 SCALE: 3/16" = 1'-0"



1 EXTERIOR ELEVATION- SOUTH
A201 SCALE: 3/16" = 1'-0"



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ISSUED DATE / REVISIONS
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OFFICE BUILDING
113 North Magnolia St
Summerville, SC 29483



MATERIAL KEY

- 1

ALUMINUM STOREFRONT WINDOWS & DOORS, BLACK
- 2

BRICK VENEER WATERTABLE
- 3

ALUMINUM AND WOOD SHADE CANOPY
- 4

VERTICAL SIDING - GREY-WASHED WESTERN RED CEDAR SHIPLAP
- 5

BRICK VENEER ON METAL STUD WALL

6

GREY-WASHED WESTERN RED CEDAR TRIM

7

GALVANIZED ALUMINUM PARAPET CAP

8

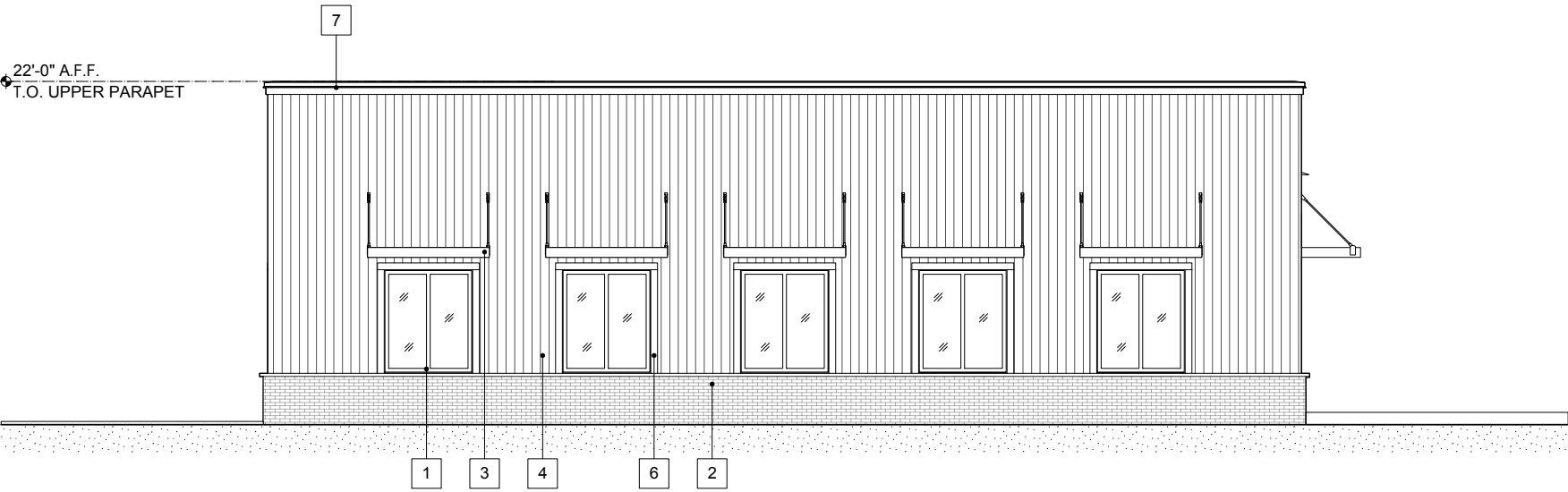
BRICK VENEER ACCENT BAND & WINDOW SURROUND DETAIL

9

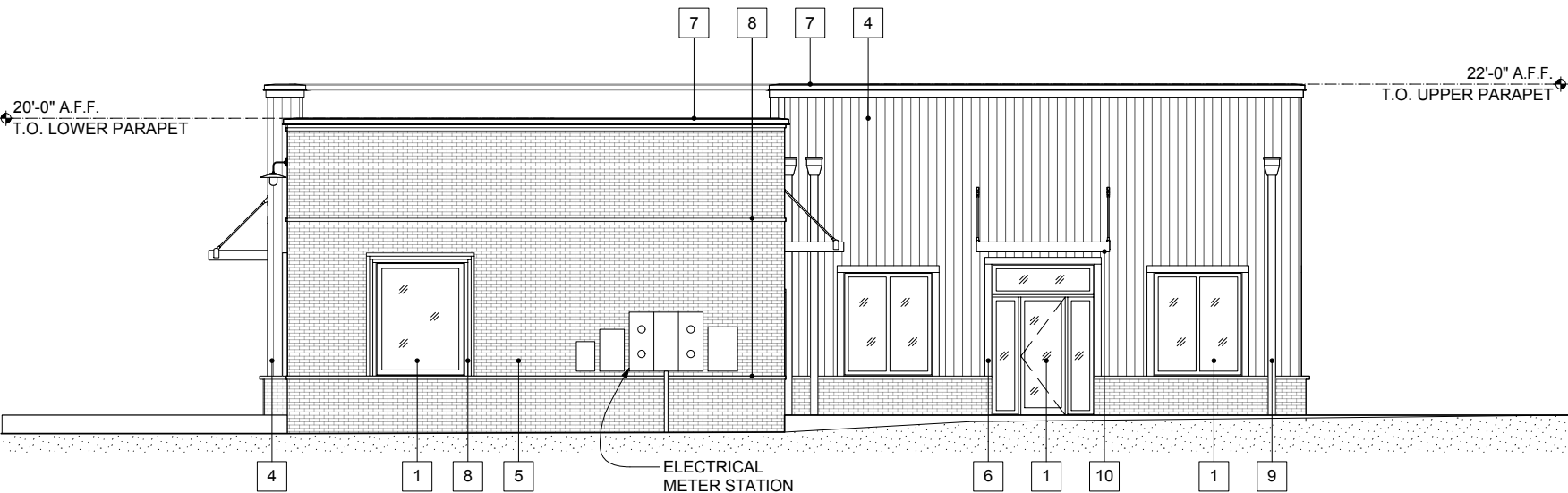
ALUMINUM DOWNSPOUT

10

ALUMINUM FRAME CANOPY



2
A202
EXTERIOR ELEVATION- EAST
SCALE: 3/16" = 1'-0"



1
A202
EXTERIOR ELEVATION- WEST
SCALE: 3/16" = 1'-0"



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113 North Magnolia St
Summerville, SC 29483





INTERSECTION OF N MAGNOLIA ST & E 1ST N ST
NOT TO SCALE



N MAGNOLIA ST TOWARDS E 1ST N ST
NOT TO SCALE



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ISSUED DATE / REVISIONS
SCHEMATIC DESIGN - 08.28.20
CDRB CONCEPT - 08.28.20
CDRB PRELIMINARY - 09.23.20

OFFICE BUILDING
113 North Magnolia St
Summerville, SC 29483





6 LOCATION MAP
SCALE: N/A

A.F.F. = ABOVE FINISH FLOOR	O.P.O.I. = OWNER PROVIDED, OWNER INSTALLED
CL = CENTER LINE	OPP = OPPOSITE
CONC = CONCRETE	PEMB = PRE ENGINEERED METAL BUILDING
CONT = CONTINUOUS	PT = PRESSURE TREATED
ELEV. = ELEVATION	PTD= PAINTED
EQ = EQUAL	SIM = SIMILAR
EXT = EXTERIOR	SYP = SOUTHERN YELLOW PINE
F.O.B. = FACE OF BLOCK	TBD = TO BE DETERMINED
F.O.S. = FACE OF STUD	TBS = TO BE SELECTED
F.O.W. = FACE OF WALL, (BRICK OR FINISH)	TYP = TYPICAL
FTG = FOOTING	VIF = VERIFY IN FIELD
HDG = HOT DIPPED GALVANIZED	WD = WOOD
INT = INTERIOR	WRC = WESTER RED CEDAR
KD = KILN DRIED	# DOOR DESIGNATION SYMBOL
N.I.C. = NOT IN CONTRACT	A WINDOW DESIGNATION SYMBOL
MR = MOISTURE RESISTANT	DIMENSION TO CENTER LINE
O.C. = ON CENTER	A STRUCTURAL COLUMN LINE
O.P.C.I. = OWNER PROVIDED, CONTRACTOR INSTALLED	INSULATION

5 ABBREVIATIONS & SYMBOLS
SCALE: N/A

1. THIS PROJECT IS AN 1 STORY, 5,660 SF NEW CONSTRUCTION BUILDING FOR USE AS A SPEC OFFICE SPACE FOR 3 TENANTS.
2. THE PROJECT OCCUPANCY IS GROUP B, BUSINESS
3. THE PROJECT JURISDICTION IS THE CITY OF CHARLESTON.
4. APPLICABLE CODES, INCLUDING SC STATEWIDE MODIFICATIONS;
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2018 FIRE PREVENTION CODE
2017 ICC / ANSI A117.1
5. THE BUILDING CONSTRUCTION TYPE IS II-B - NOT SPRINKLERED

3 PROJECT NOTES
SCALE: N/A

- | | |
|------|------------------------------|
| G101 | - TITLE SHEET |
| G102 | - EXISTING SITE PHOTOS |
| C100 | - EXISTING CONDITIONS |
| C101 | - DEMO AND TREE REMOVAL PLAN |
| C300 | - SITE LAYOUT PLAN |
| A101 | - FLOOR PLAN |
| A102 | - ROOF PLAN |
| A202 | - EXTERIOR ELEVATIONS |

2 DRAWING LIST
SCALE: N/A

OFFICE BUILDING

**113 NORTH MAGNOLIA STREET
SUMMERVILLE, SC 29483**

TMS # 137-07-15-001.000

**COMMERCIAL DESIGN REVIEW
BOARD APPLICATION
PRELIMINARY REVIEW**

SEPTEMBER 25, 2020



GENERAL CONTRACTOR & PROJECT MANAGEMENT
DAVID WILLIS - 843-821-2071
DAVID@SOUTHEASTERNCONSTRUCTIONCO.COM



ARCHITECTURE AND PROJECT MANAGEMENT
DAVID THOMPSON - 843-297-8939
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CIVIL ENGINEER
CAMERON BAKER - 843-270-3185
CAMERON@CBAKERENGINEERING.COM



MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING
PROFICIENT ENGINEERING
BRIAN ARMENTA - 404-330-9798
BRIAN@PEIATL.COM

1 PROJECT TEAM
SCALE: N/A



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Summerville, SC 29483

G101



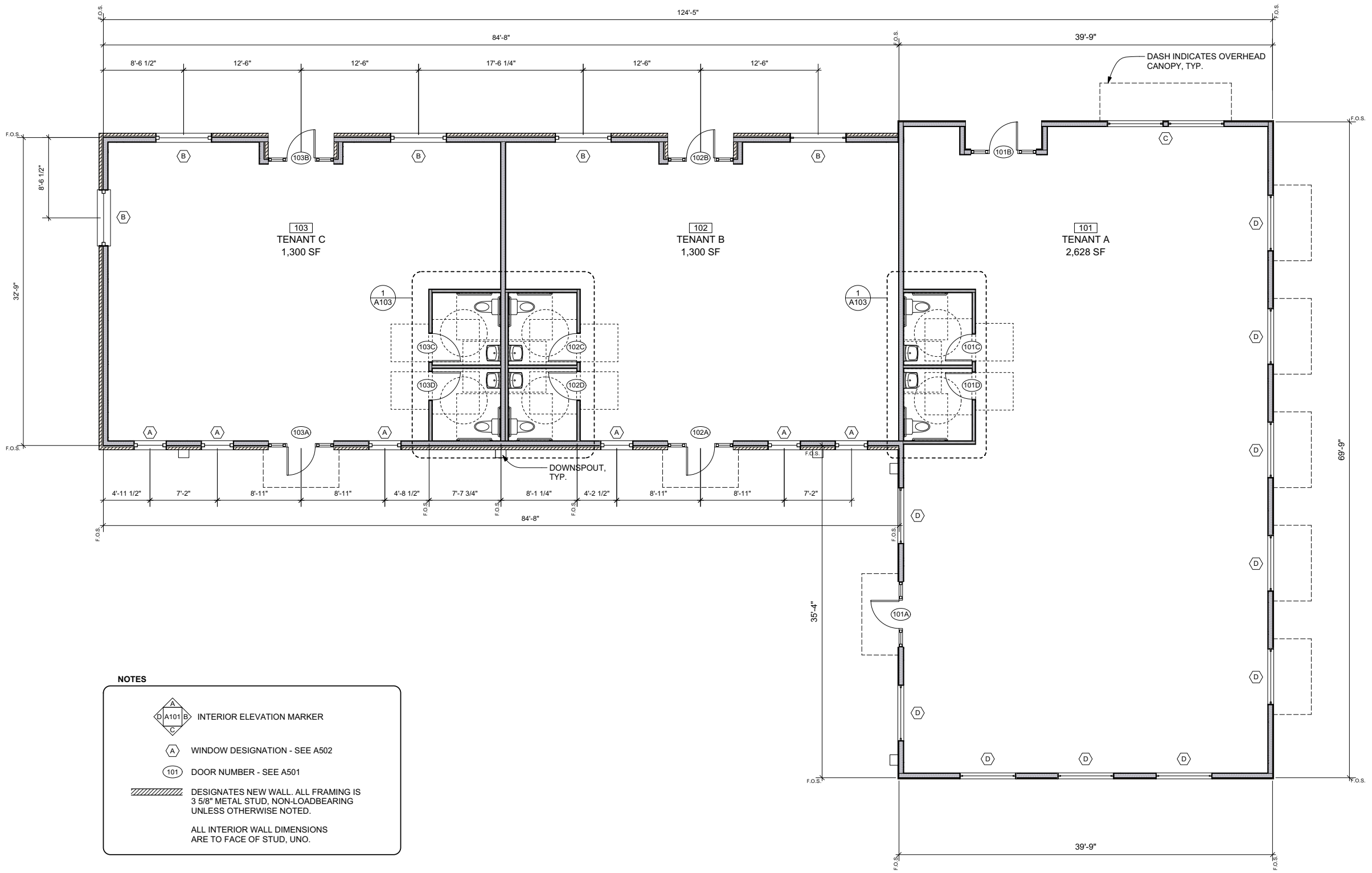
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NOTES

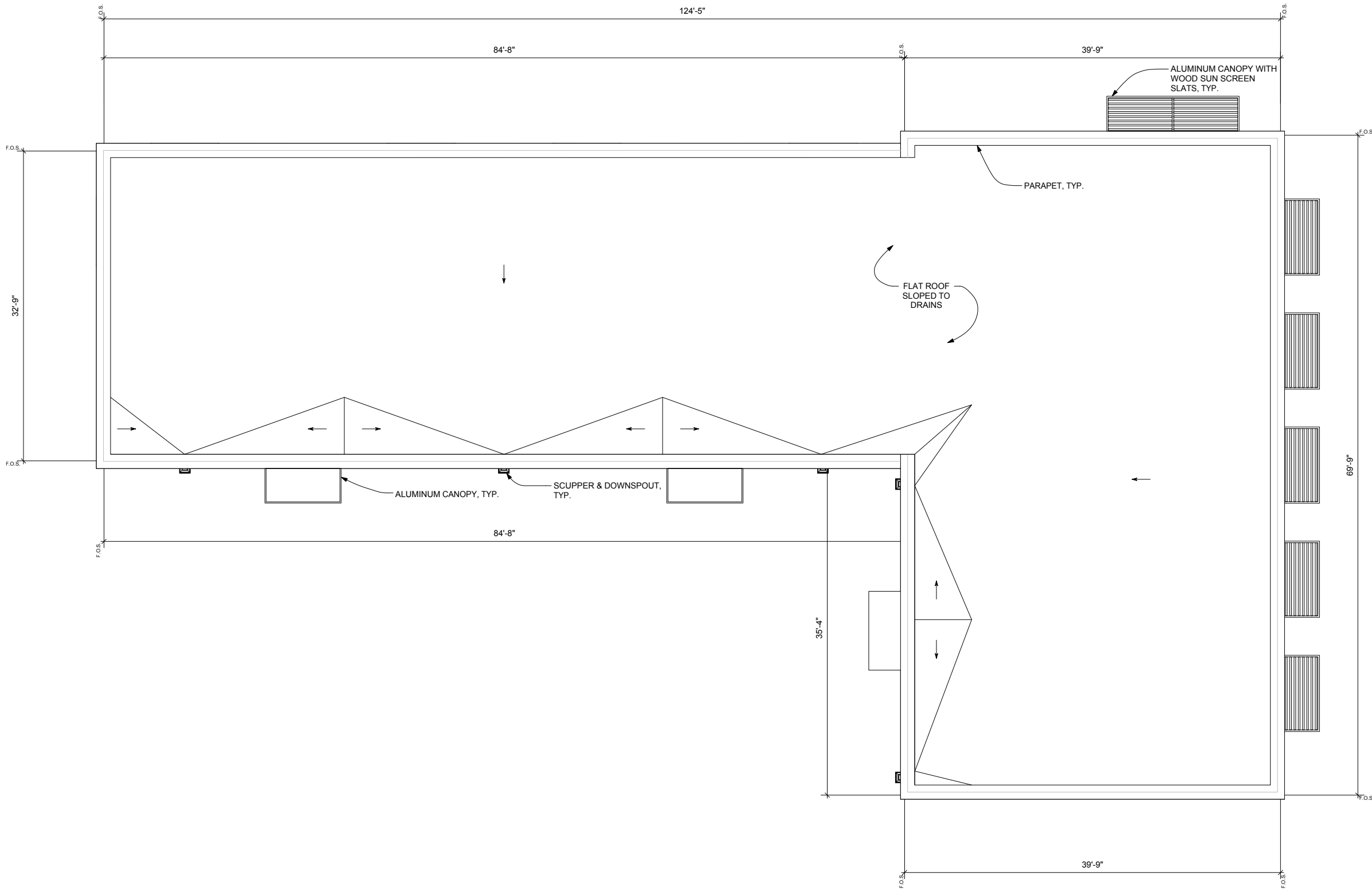
INTERIOR ELEVATION MARKER

WINDOW DESIGNATION - SEE A502

DOOR NUMBER - SEE A501

DESIGNATES NEW WALL. ALL FRAMING IS 3 5/8" METAL STUD, NON-LOADBEARING UNLESS OTHERWISE NOTED.

ALL INTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, UNO.



1
A102 ROOF PLAN
SCALE: 3/16" = 1'-0"



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113 North Magnolia St
Summerville, SC 29483

A102

**STAFF REPORT
CDRB Meeting
October 15, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: October 7, 2020

GENERAL INFORMATION

Applicant: Commercial Site Solutions – Mike Lukus
Property Owner: FLBI LLC
Requested Action: The applicant is requesting Preliminary Approval of a proposed 3,010 sf restaurant with drive-thru (Freddy's Frozen custard and Steakburgers)
Requested Approval: Preliminary Approval
Existing Zoning: UC-MX Urban Corridor Mixed Use
Adjacent Zoning: **North:** UC-MX Urban Corridor Mixed Use
South: UC-MX Urban Corridor Mixed Use
East: Out Dorchester County
West: UC-MX Urban Corridor Mixed Use
Location: Ladson Road – Ladson Oakbrook Shopping Center outparcel
Existing Land Use: Undeveloped
Prior Approvals: Preliminary Approval – Denied 9-17-2020

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review the following comments must be addressed to meet requirements. A sidewalk connection to the existing sidewalk along Ladson Road has been provided. A photo metric plan has been submitted and the Average Permitted foot candles exceeds the limit established in Section 9.3.3. Average maintained foot candles should not exceed 3 in the parking area. The building provides a mix of materials including brick, and fiber cement siding, both horizontal and vertical board and baton. The proposed elevation does not meet the mandated 65% façade transparency for the first floor. This requirement can be waived by the Board.

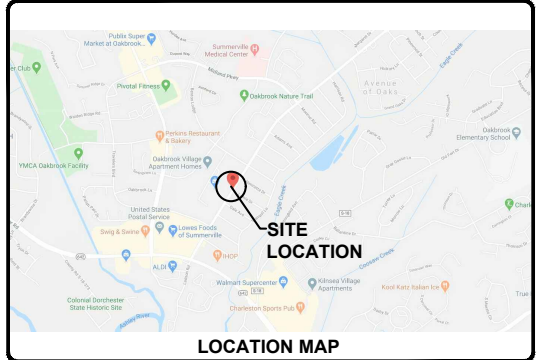
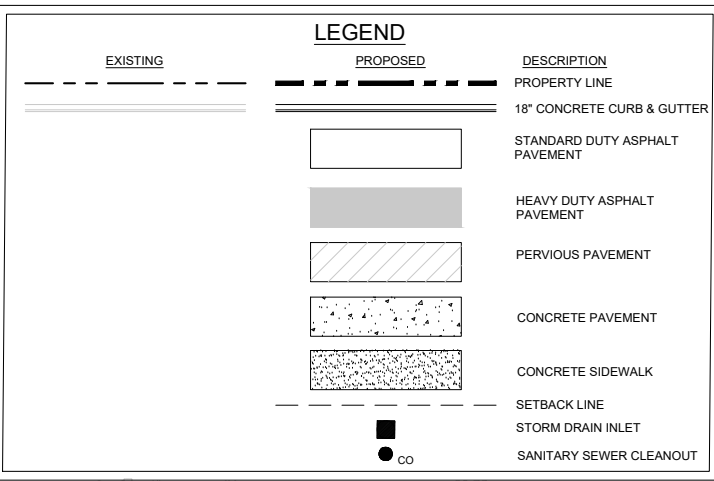
PARKING DATA									
TENANT	TOTAL AREA SF	MINIMUM REQUIRED PARKING (PER CODE)	RATIO (PER CODE, BASED ON 3,010 SF)	MAXIMUM ALLOWED PARKING (PER CODE)	RATIO (PER CODE, BASED ON 3,010 SF)	PARKING PROVIDED	RATIO PROVIDED	PERVIOUS PAVEMENT PARKING PROVIDED	HANDICAP PARKING REQUIRED
FREDDY'S	3,010 SF	10	3 / 1000 SF	20	6.64 / 1000 SF	30	9.63 / 1000 SF	10	2

NOTE: ALL DRIVE THRU ITEMS (MENU BOARDS, HEADACHE BAR, ETC.) ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECT PLANS FOR EXACT LOCATION AND DETAILS.

NOTE: ANY SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE TOWN OF SUMMERVILLE PLANNING AND DEVELOPMENT DEPARTMENT; I.E., ENTRANCE & DIRECTIONAL SIGNS, MONUMENTS AND ALL COMMERCIAL SIGNS.

LOADING SPACE: ALL DELIVERIES ARE PERFORMED OFF-HOURS SO DEDICATED LOADING SPACE NOT REQUIRED.

NOTE: SEE SITE LIGHTING PLAN (BY OTHERS) FOR ALL LIGHT POLE LOCATIONS.



SITE DATA

FREDDY'S LOT SIZE: +/- 0.967 ACRES TOTAL

AHJ: DORCHESTER COUNTY
PARCEL ID: 161-00-00-069
LADSON ROAD, SUMMERVILLE, SC
ZONING: UCMX (URBAN CORRIDOR MIXED USE)

PROPOSED BUILDING AREA: ±3,010 SF

BUILDING SETBACK REQUIREMENTS:

FRONT: 0' MINIMUM / 5' MAXIMUM
SIDE: 5' MAXIMUM
REAR: 5'

BUFFERYARDS

PER SECTION 8.6.1 AND TABLE 2.5, A PERIMETER BUFFER IS REQUIRED IN THE UC-MX WHEN LOCATED ADJACENT TO GR-2, GR-3 AND GR-5. THE ZONING MAP SHOWS THIS SITE IS LOCATED ADJACENT TO UC-MX

PARKING REQUIREMENTS:

MINIMUM: 3 SPACES PER 1,000 GSF FLOOR AREA = 10 SPACES
MAXIMUM: 200% OF MINIMUM = 20 SPACES
PROPOSED: 19 SPACES + 10 PERVIOUS PAVEMENT SPACES (2 HC)
SIZE REQUIRED: MIN. STALL DIMENSIONS: 9x18' / DRIVE ISLE: 24'

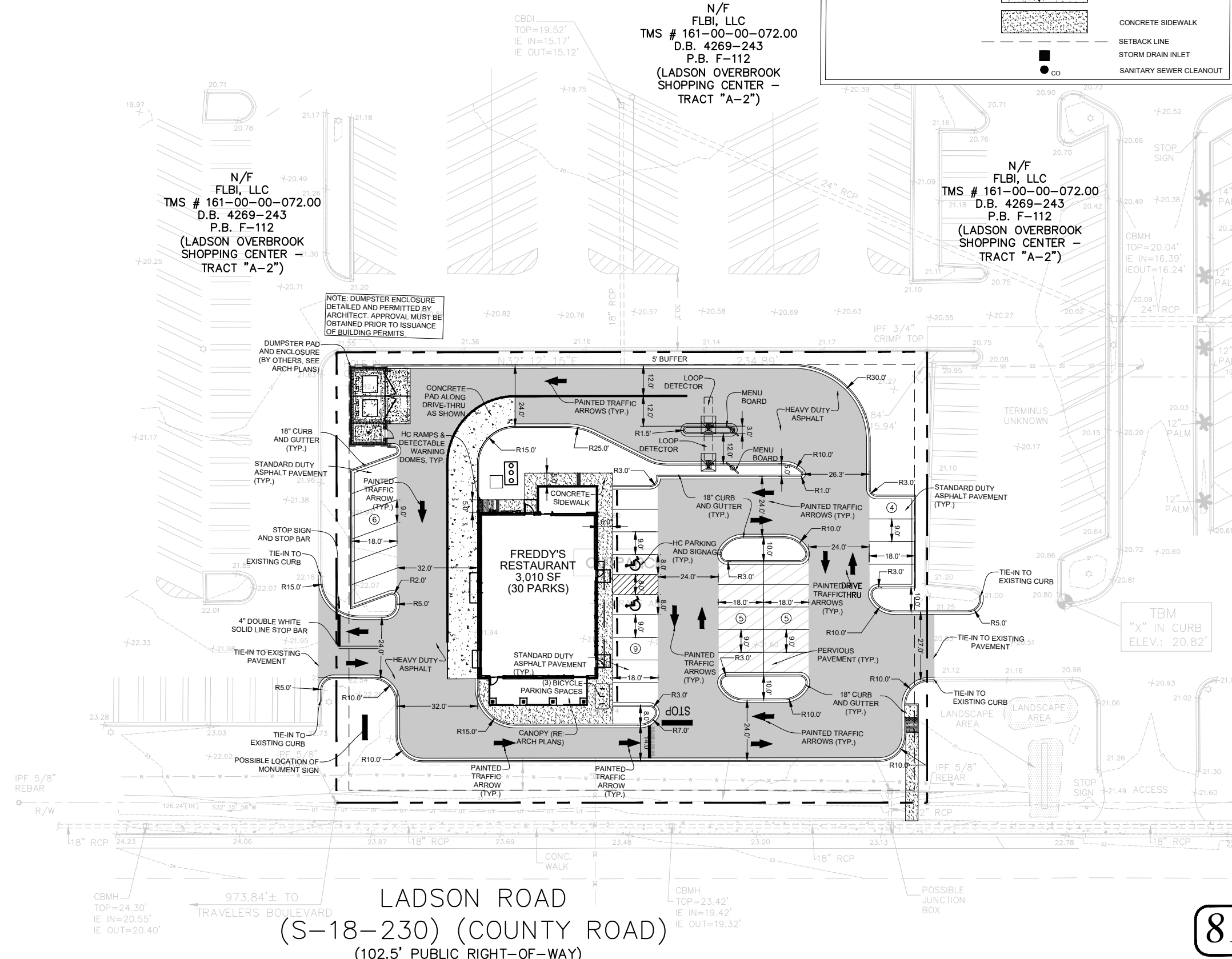
BICYCLE PARKING REQUIREMENTS:

REQUIRED: 2 SPACES PER 15 VEHICULAR SPACES = 3 SPACES
PROPOSED: 3 SPACES

IMPERVIOUS AREA

ALLOWABLE: 80.0% (33698 SF, .77 AC)
EXISTING: 0.0% (0 SF, 0.0 AC)
PROPOSED: 74.6% (31,404 SF, 0.72 AC)

- GENERAL SITE NOTES**
- THIS SITE PLAN CONTAINS EXISTING CURB, SIDEWALKS, PAVING, PARKING, STRIPING, ETC. CONTRACTOR SHALL FIELD VERIFY QUANTITIES AS APPLICABLE OF THE SITE WORK PRIOR TO CONSTRUCTION.
 - ALL EXISTING WORK TO REMAIN UNLESS OTHERWISE NOTED.
 - ALLOW MINIMUM 72 HOURS (3 WORKING DAYS) BEFORE DIGGING. CONTRACTOR TO CONTACT LOCAL UTILITIES PROTECTION SERVICE PRIOR TO DIGGING.
 - PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE TYPE, COLOR, SIZE, AND LOCATIONS SHOWN ON THE PLANS. PAINT SHALL BE SUPPLIED IN ACCORDANCE WITH AASHTO M248 LATEST EDITION. COLOR SHALL BE AS FOLLOWS: (YELLOW - LOADING ZONES, PARKING ISLANDS, NO PARKING ZONES AND FIRE LANES), (WHITE - PARKING SPACES, STOP BARS, PEDESTRIAN CROSSINGS, LANE DEMARCATIONS, DIRECTIONAL ARROWS AND LETTERING), (BLUE - HANDICAP PARKING STALLS AND SYMBOLS).
 - CONTRACTOR TO VERIFY EXISTING GRADES AND CONFIRM 2% MAXIMUM SLOPE PRIOR TO RELOCATING AND RE-STRIPING THE HANDICAP ACCESSIBLE PARKING STALLS.
 - CONTRACTOR TO CONFIRM ALL PAVEMENT AREAS TO NOT EXCEED 3% SLOPE AND MEET ADA ACCESSIBILITY GUIDELINES.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - DEMOLITION OF EXISTING PAVEMENT IS A PART OF THIS CONSTRUCTION PACKAGE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES TO BUILDING MARKED PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPE DURING CONSTRUCTION.
 - THE EXISTING STORMWATER SYSTEM WILL CONTINUE TO SERVE THE PROPERTY.
 - ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING (BLOCK), OR CENTERLINE OF PARKING BAY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL ENTRY/EXIT PORCHES AND PRECISE BUILDING DIMENSIONS.
 - UNLESS OTHERWISE NOTED, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.
 - ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND SYMBOL PAINTED ON THE ASPHALT. STALL(S) ADJACENT TO THE FIVE (5) FOOT STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE. STRIPING TO BE BLUE.
 - ALL SIGNAGE SHALL MEET THE CRITERIA OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - EXISTING SIGNAGE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS.
 - EXISTING LIGHT POLES TO REMAIN, UNLESS OTHERWISE NOTED ON PLANS. LIGHTING TO BE CONVERTED TO LED, RE-Paint PER ALDI STANDARDS.
 - EXISTING TRANSFORMER TO REMAIN, UNLESS OTHERWISE NOTED ON ARCH PLANS.
 - EXISTING SITE SIGNAGE TO REMAIN IN PLACE. REFER TO ARCH PLANS FOR BUILDING SIGNAGE.
 - STRIPED AREAS TO BE PAINTED AT 45° ANGLE W/ 6" WIDE STRIPE AT 24" ON CENTER. 2 COATS MIN, WHITE.



REVISIONS	
ISSUED	COMMENT



CSS

402 East First Avenue
Easley, South Carolina 29640
(864) 855-5200
www.css-eng.com

KW - COMMERCIAL PROPERTIES

496 BRAMSON CT, SUITE 200
GREENVILLE, SC
PH: 864-329-3232
CONTACT: JOHN DEVERA

SITE PLAN

Freddy's
STEAKBURGERS

LADSON RD. @ LAMIE DR.
SUMMERVILLE, SC

Date: 6/5/20
Drawn: JAP
Checked: ---

C-4.0
Sheet

811 CALL BEFORE YOU DIG

SCALE: 1" = 20'

STORMDRAIN SCHEDULE						
STRUCTURES	SIZE	LENGTH	TYPE	SLOPE	IE UP	IE DOWN
2 TO 1	18"	115'	RCP (CLASS IV)	0.50 %	16.83	16.25
3 TO 2	18"	93'	RCP (CLASS IV)	0.50 %	17.40	16.93
4 TO 1	18"	125'	RCP (CLASS IV)	0.50 %	16.88	16.25

STORMDRAIN STRUCTURE TABLE		
STRUCTURE	TYPE	RIM ELEV
1	COMBINATION INLET	19.75
2	GRATE INLET	21.0
3	COMBINATION INLET	21.35
4	COMBINATION INLET	21.0

SURFACE CALCULATIONS
ALLOWED IMPERVIOUS AREA: 33,698 SF (80%)
PROPOSED IMPERVIOUS AREA: 31,404 SF (74.6%)
PROPOSED PERVIOUS AREA: 10,713 SF (25.4%)

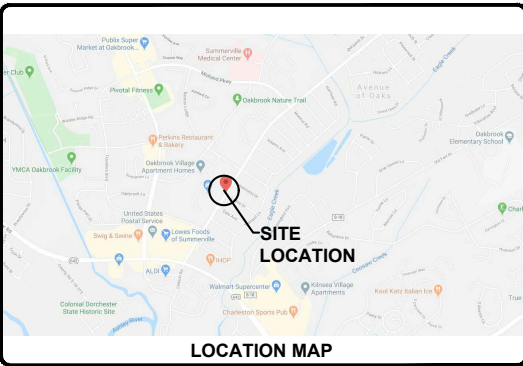
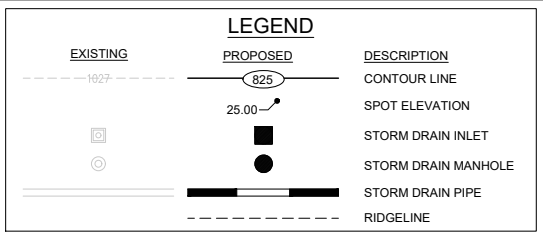
NOTE:
CONTRACTOR TO VERIFY ELEVATION OF CONNECTION POINT TO EXISTING DRIVE PRIOR TO CONSTRUCTION / INSTALLATION OF DRIVE, CURB & GUTTER, AND GRADING AND NOTIFY CONSULTING ENGINEER WITH DISCREPANCIES.

NOTE:
CONTRACTOR TO VERIFY LOCATION OF ROOF DRAINS WITH ARCH PLANS. REVISE LOCATIONS ON PLANS AS NECESSARY AND CONTACT ENGINEER WITH ISSUES. ENSURE MIN 1.0% ON ALL ROOF DRAIN LEADERS.

NOTE: ALL ELEVATIONS ARE SHOWN TO BOTTOM OF CURB UNLESS OTHERWISE CALLED OUT.

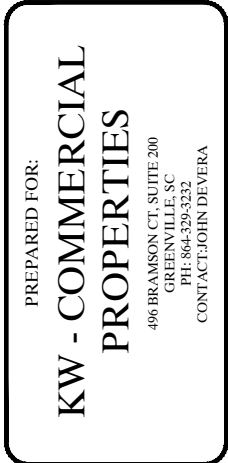
CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

NOTE:
CONTRACTOR TO ENSURE MAX. 2.0% SLOPE ACROSS ALL HANDICAP PARKING AREAS.

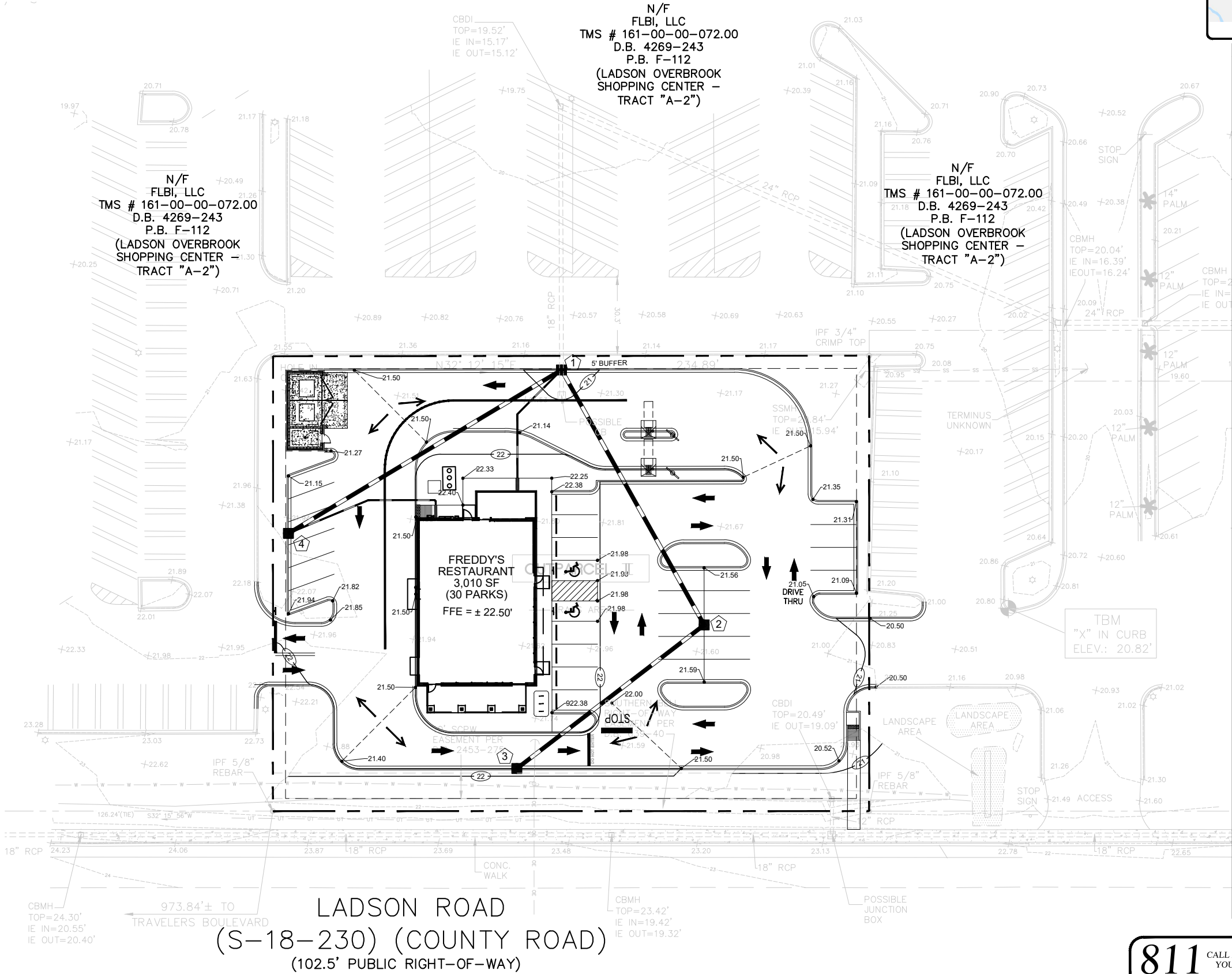


- SITE GRADING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED. TYPE 1: RCP, CLASS III PER ASTM C-76 WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS, UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY FREELAND & ASSOC., INC., IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STAKED SOD TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STATE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - CATCH BASINS, MANHOLES, FRAMES, GRATES, SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS FOR CONSTRUCTION AND THE DORCHESTER COUNTY REQUIREMENTS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT NUMBER, SIZE AND LOCATION OF ANY ROOF DRAINS.
 - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR TWELVE INCHES (12"), WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF ALL WORK INDICATED ON THESE DRAWINGS. THE OWNER AND THE DESIGN ENGINEER ACCEPT NO RESPONSIBILITY FOR THE DESIGNS TO INSTALL SAID ITEMS.
 - PRECAST DRAINAGE STRUCTURES HAVE BEEN SPECIFIED ON THE PLANS. THE OWNER AND THE ENGINEER, HOWEVER, ASSUME NO RESPONSIBILITY FOR THESE STRUCTURES, AS FIELD CONDITIONS OFTEN DICTATE MINOR ELEVATION ADJUSTMENTS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND EXPENSE FOR MODIFYING THE PRECAST STRUCTURES TO ACCOMMODATE FIELD REVISIONS.
 - ALL SLOPES 3:1 AND STEEPER ARE TO RECEIVE STAKED SOD.
 - ALL GRADING OPERATIONS, EXCAVATIONS, FILL, COMPACTION TESTING AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL BE DESIGNATED BY AND PAID FOR BY THE OWNER.
 - NO FILL SHALL BE PLACED PRIOR TO APPROVAL OF THE SUBGRADE BY THE GEOTECHNICAL ENGINEER.
 - COMPACTION SHALL BE DONE IN ACCORDANCE WITH A.D.T.'S REQUIREMENTS AND THE ON-SITE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE SOILS REPORT.
 - ALL GRADING OPERATIONS SHALL BE STAKED BY A LICENSED LAND SURVEYOR PROVIDED BY THE CONTRACTOR AND APPROVED BY THE OWNER.
 - UPON COMPLETION OF THE GRADING, THE GEOTECHNICAL ENGINEER SHALL PROVIDE OWNER WITH A LETTER INDICATING THAT THE SITE AND BUILDING PAD WERE PREPARED IN DIRECT CONFORMANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS IN THE SOILS REPORT.
 - CROSS-SLOPE THROUGH STRIPED AREA LEADING TO PUBLIC SIDEWALK SHALL NOT EXCEED 2.0%.
 - NO EXPOSED FOOTINGS SHALL BE ALLOWED.

REVISIONS	
ISSUED	COMMENT



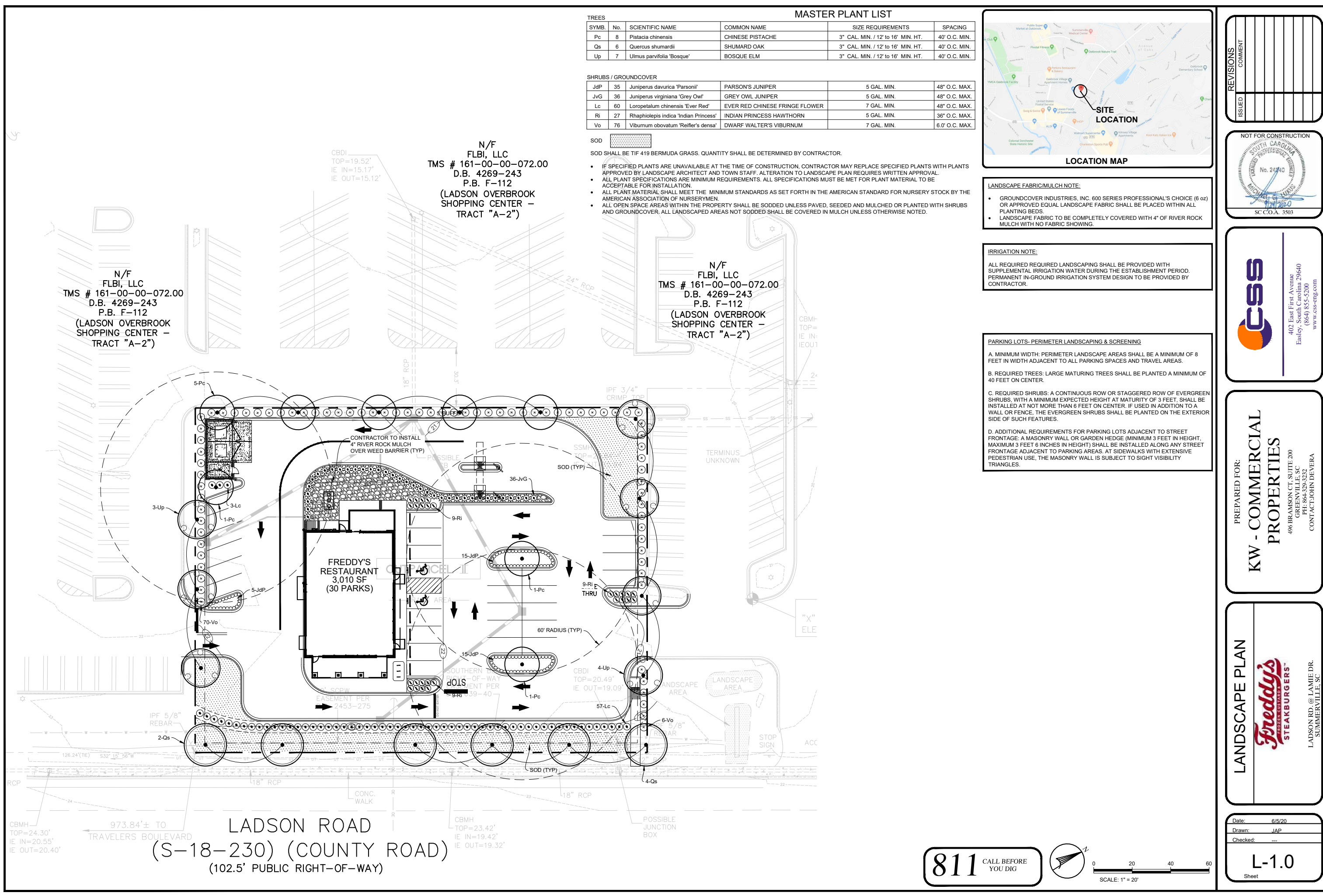
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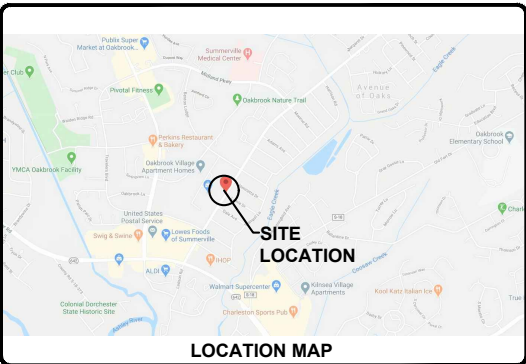


0 20 40 60
SCALE: 1" = 20'



MASTER PLANT LIST					
TREES					
SYMB.	No.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	SPACING
Pc	8	Pistacia chinensis	CHINESE PISTACHE	3" CAL. MIN. / 12' to 16' MIN. HT.	40' O.C. MIN.
Qs	6	Quercus shumardii	SHUMARD OAK	3" CAL. MIN. / 12' to 16' MIN. HT.	40' O.C. MIN.
Up	7	Ulmus parvifolia 'Bosque'	BOSQUE ELM	3" CAL. MIN. / 12' to 16' MIN. HT.	40' O.C. MIN.
SHRUBS / GROUND COVER					
JdP	35	Juniperus davurica 'Parsonii'	PARSON'S JUNIPER	5 GAL. MIN.	48" O.C. MAX.
JvG	36	Juniperus virginiana 'Grey Owl'	GREY OWL JUNIPER	5 GAL. MIN.	48" O.C. MAX.
Lc	60	Loropetalum chinensis 'Ever Red'	EVER RED CHINESE FRINGE FLOWER	7 GAL. MIN.	48" O.C. MAX.
Ri	27	Rhaphiolepis indica 'Indian Princess'	INDIAN PRINCESS HAWTHORN	5 GAL. MIN.	36" O.C. MAX.
Vo	76	Viburnum obovatum 'Reifler's densa'	DWARF WALTER'S VIBURNUM	7 GAL. MIN.	6.0' O.C. MAX.

- SOD
- SOD SHALL BE TIF 419 BERMUDA GRASS. QUANTITY SHALL BE DETERMINED BY CONTRACTOR.
- IF SPECIFIED PLANTS ARE UNAVAILABLE AT THE TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND TOWN STAFF. ALTERATION TO LANDSCAPE PLAN REQUIRES WRITTEN APPROVAL.
 - ALL PLANT SPECIFICATIONS ARE MINIMUM REQUIREMENTS. ALL SPECIFICATIONS MUST BE MET FOR PLANT MATERIAL TO BE ACCEPTABLE FOR INSTALLATION.
 - ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER. ALL LANDSCAPED AREAS NOT SODDED SHALL BE COVERED IN MULCH UNLESS OTHERWISE NOTED.



LANDSCAPE FABRIC/MULCH NOTE:

- GROUND COVER INDUSTRIES, INC. 600 SERIES PROFESSIONAL'S CHOICE (6 oz) OR APPROVED EQUAL LANDSCAPE FABRIC SHALL BE PLACED WITHIN ALL PLANTING BEDS.
- LANDSCAPE FABRIC TO BE COMPLETELY COVERED WITH 4" OF RIVER ROCK MULCH WITH NO FABRIC SHOWING.

IRRIGATION NOTE:

ALL REQUIRED REQUIRED LANDSCAPING SHALL BE PROVIDED WITH SUPPLEMENTAL IRRIGATION WATER DURING THE ESTABLISHMENT PERIOD. PERMANENT IN-GROUND IRRIGATION SYSTEM DESIGN TO BE PROVIDED BY CONTRACTOR.

PARKING LOTS- PERIMETER LANDSCAPING & SCREENING

A. MINIMUM WIDTH; PERIMETER LANDSCAPE AREAS SHALL BE A MINIMUM OF 8 FEET IN WIDTH ADJACENT TO ALL PARKING SPACES AND TRAVEL AREAS.

B. REQUIRED TREES: LARGE MATURING TREES SHALL BE PLANTED A MINIMUM OF 40 FEET ON CENTER.

C. REQUIRED SHRUBS: A CONTINUOUS ROW OR STAGGERED ROW OF EVERGREEN SHRUBS, WITH A MINIMUM EXPECTED HEIGHT AT MATURITY OF 3 FEET, SHALL BE INSTALLED AT NOT MORE THAN 6 FEET ON CENTER. IF USED IN ADDITION TO A WALL OR FENCE, THE EVERGREEN SHRUBS SHALL BE PLANTED ON THE EXTERIOR SIDE OF SUCH FEATURES.

D. ADDITIONAL REQUIREMENTS FOR PARKING LOTS ADJACENT TO STREET FRONTAGE: A MASONRY WALL OR GARDEN HEDGE (MINIMUM 3 FEET IN HEIGHT, MAXIMUM 3 FEET 6 INCHES IN HEIGHT) SHALL BE INSTALLED ALONG ANY STREET FRONTAGE ADJACENT TO PARKING AREAS. AT SIDEWALKS WITH EXTENSIVE PEDESTRIAN USE, THE MASONRY WALL IS SUBJECT TO SIGHT VISIBILITY TRIANGLES.

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LANDSCAPE PLAN

Freddy's STEAKBURGERS

LADSON RD. @ LAMIE DR.
SUMMERVILLE, SC

Date: 6/5/20
Drawn: JAP
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SCALE: 1" = 20'

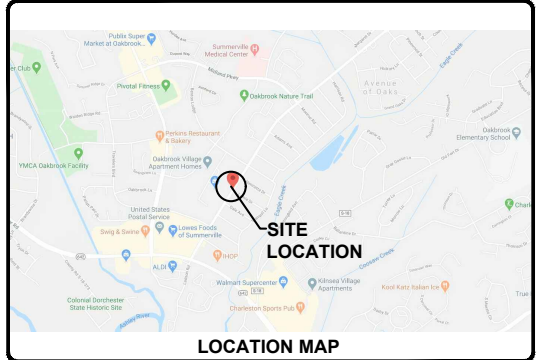
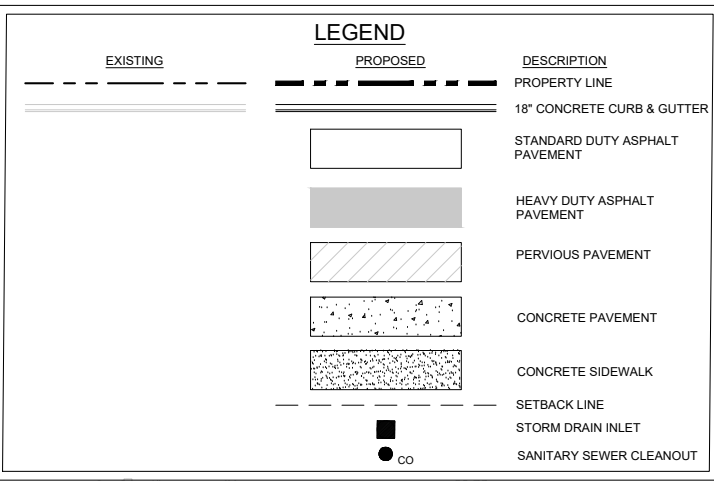
PARKING DATA									
TENANT	TOTAL AREA SF	MINIMUM REQUIRED PARKING (PER CODE)	RATIO (PER CODE, BASED ON 3,010 SF)	MAXIMUM ALLOWED PARKING (PER CODE)	RATIO (PER CODE, BASED ON 3,010 SF)	PARKING PROVIDED	RATIO PROVIDED	PERVIOUS PAVEMENT PARKING PROVIDED	HANDICAP PARKING REQUIRED
FREDDY'S	3,010 SF	10	3 / 1000 SF	20	6.64 / 1000 SF	30	9.63 / 1000 SF	10	2

NOTE: ALL DRIVE THRU ITEMS (MENU BOARDS, HEADACHE BAR, ETC.) ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECT PLANS FOR EXACT LOCATION AND DETAILS.

NOTE: ANY SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE TOWN OF SUMMERVILLE PLANNING AND DEVELOPMENT DEPARTMENT; I.E., ENTRANCE & DIRECTIONAL SIGNS, MONUMENTS AND ALL COMMERCIAL SIGNS.

LOADING SPACE: ALL DELIVERIES ARE PERFORMED OFF-HOURS SO DEDICATED LOADING SPACE NOT REQUIRED.

NOTE: SEE SITE LIGHTING PLAN (BY OTHERS) FOR ALL LIGHT POLE LOCATIONS.



SITE DATA

FREDDY'S LOT SIZE: +/- 0.967 ACRES TOTAL

AHJ: DORCHESTER COUNTY
PARCEL ID: 161-00-00-069
LADSON ROAD, SUMMERVILLE, SC
ZONING: UCMX (URBAN CORRIDOR MIXED USE)

PROPOSED BUILDING AREA: ±3,010 SF

BUILDING SETBACK REQUIREMENTS:

FRONT: 0' MINIMUM / 5' MAXIMUM
SIDE: 5' MAXIMUM
REAR: 5'

BUFFERYARDS

PER SECTION 8.6.1 AND TABLE 2.5, A PERIMETER BUFFER IS REQUIRED IN THE UC-MX WHEN LOCATED ADJACENT TO GR-2, GR-3 AND GR-5. THE ZONING MAP SHOWS THIS SITE IS LOCATED ADJACENT TO UC-MX

PARKING REQUIREMENTS:

MINIMUM: 3 SPACES PER 1,000 GSF FLOOR AREA = 10 SPACES
MAXIMUM: 200% OF MINIMUM = 20 SPACES
PROPOSED: 19 SPACES + 10 PERVIOUS PAVEMENT SPACES (2 HC)
SIZE REQUIRED: MIN. STALL DIMENSIONS: 9x18' / DRIVE ISLE: 24'

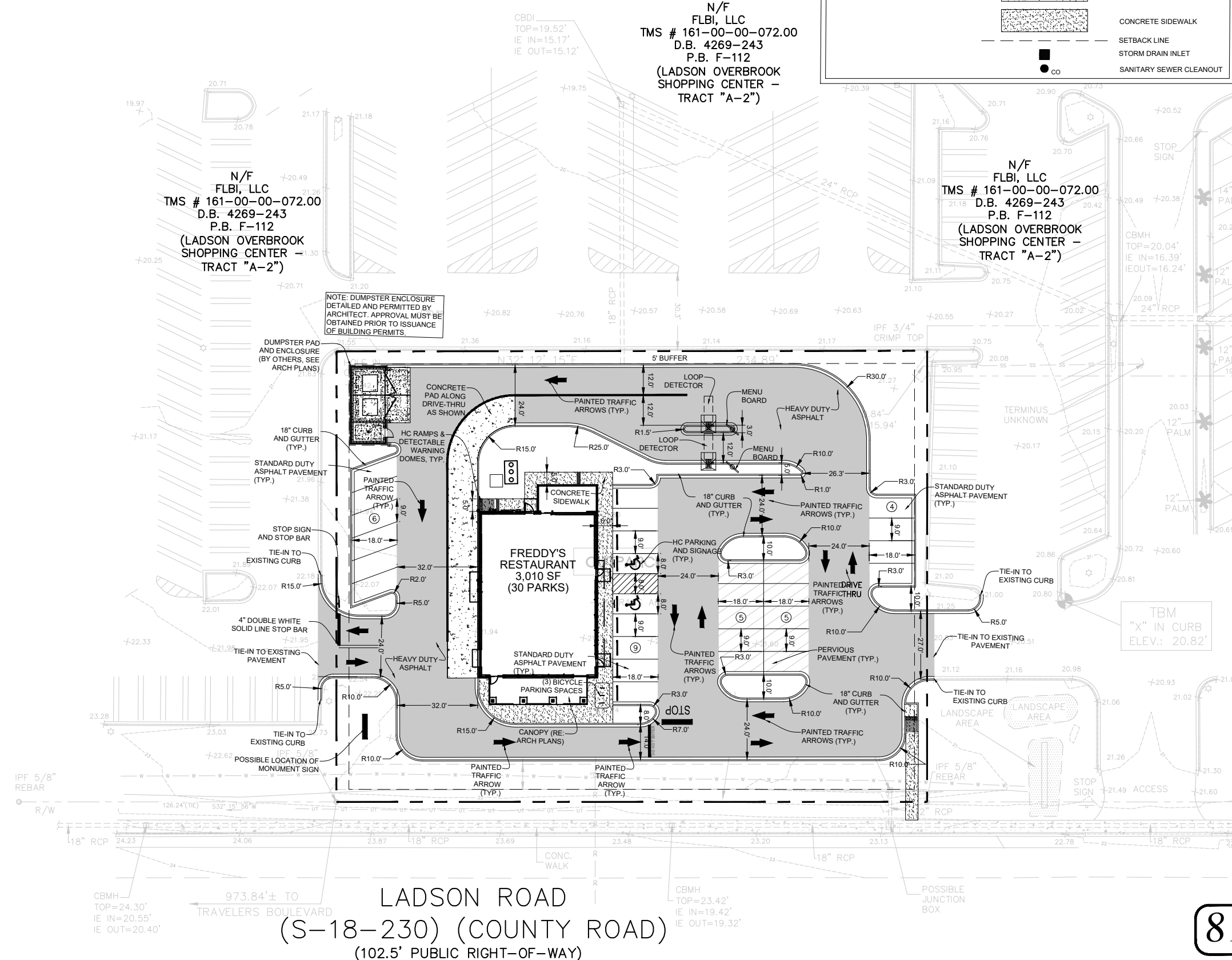
BICYCLE PARKING REQUIREMENTS:

REQUIRED: 2 SPACES PER 15 VEHICULAR SPACES = 3 SPACES
PROPOSED: 3 SPACES

IMPERVIOUS AREA

ALLOWABLE: 80.0% (33698 SF, .77 AC)
EXISTING: 0.0% (0 SF, 0.0 AC)
PROPOSED: 74.6% (31,404 SF, 0.72 AC)

- GENERAL SITE NOTES**
- THIS SITE PLAN CONTAINS EXISTING CURB, SIDEWALKS, PAVING, PARKING, STRIPING, ETC. CONTRACTOR SHALL FIELD VERIFY QUANTITIES AS APPLICABLE OF THE SITE WORK PRIOR TO CONSTRUCTION.
 - ALL EXISTING WORK TO REMAIN UNLESS OTHERWISE NOTED.
 - ALLOW MINIMUM 72 HOURS (3 WORKING DAYS) BEFORE DIGGING. CONTRACTOR TO CONTACT LOCAL UTILITIES PROTECTION SERVICE PRIOR TO DIGGING.
 - PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE TYPE, COLOR, SIZE, AND LOCATIONS SHOWN ON THE PLANS. PAINT SHALL BE SUPPLIED IN ACCORDANCE WITH AASHTO M248 LATEST EDITION. COLOR SHALL BE AS FOLLOWS: (YELLOW - LOADING ZONES, PARKING ISLANDS, NO PARKING ZONES AND FIRE LANES), (WHITE - PARKING SPACES, STOP BARS, PEDESTRIAN CROSSINGS, LANE DEMARCATIONS, DIRECTIONAL ARROWS AND LETTERING), (BLUE - HANDICAP PARKING STALLS AND SYMBOLS).
 - CONTRACTOR TO VERIFY EXISTING GRADES AND CONFIRM 2% MAXIMUM SLOPE PRIOR TO RELOCATING AND RE-STRIPING THE HANDICAP ACCESSIBLE PARKING STALLS.
 - CONTRACTOR TO CONFIRM ALL PAVEMENT AREAS TO NOT EXCEED 3% SLOPE AND MEET ADA ACCESSIBILITY GUIDELINES.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - DEMOLITION OF EXISTING PAVEMENT IS A PART OF THIS CONSTRUCTION PACKAGE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES TO BUILDING MARKED PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPE DURING CONSTRUCTION.
 - THE EXISTING STORMWATER SYSTEM WILL CONTINUE TO SERVE THE PROPERTY.
 - ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING (BLOCK), OR CENTERLINE OF PARKING BAY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL ENTRY/EXIT PORCHES AND PRECISE BUILDING DIMENSIONS.
 - UNLESS OTHERWISE NOTED, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.
 - ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND SYMBOL PAINTED ON THE ASPHALT. STALL(S) ADJACENT TO THE FIVE (5) FOOT STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE. STRIPING TO BE BLUE.
 - ALL SIGNAGE SHALL MEET THE CRITERIA OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - EXISTING SIGNAGE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS.
 - EXISTING LIGHT POLES TO REMAIN, UNLESS OTHERWISE NOTED ON PLANS. LIGHTING TO BE CONVERTED TO LED, RE-Paint PER ALDI STANDARDS.
 - EXISTING TRANSFORMER TO REMAIN, UNLESS OTHERWISE NOTED ON ARCH PLANS.
 - EXISTING SITE SIGNAGE TO REMAIN IN PLACE. REFER TO ARCH PLANS FOR BUILDING SIGNAGE.
 - STRIPED AREAS TO BE PAINTED AT 45° ANGLE W/ 6" WIDE STRIPE AT 24" ON CENTER. 2 COATS MIN, WHITE.



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SITE PLAN

Freddy's
STEAKBURGERS

LADSON RD. @ LAMIE DR.
SUMMERVILLE, SC

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Drawn: JAP
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SCALE: 1" = 20'

UTILITY NOTES

1. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE STATE OF SOUTH CAROLINA AND SUMMERVILLE PUBLIC UTILITIES.
2. WATER LINES SHALL BE INSTALLED WITH A MINIMUM OF 36" OF COVER UNLESS OTHERWISE NOTED. ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE SUMMERVILLE PUBLIC UTILITIES.
3. VALVES SHALL BE RESILIENT SEAT GATE VALVES, DIRECT BURY WITH A VALVE BOX (AWWA C509).
4. 8" WATER LINE AT SITE SHALL BE C900 RATED PVC. ALL SERVICE LINES LESS THAN 3" IN DIAMETER SHALL BE HDPE.
5. SEWER LINES (INCLUDING LATERALS) SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D-3034.
6. SEWER CLEANOUTS SHALL BE IN ACCORDANCE WITH SUMMERVILLE CPW DETAILS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT UTILITY EXIT POINTS, EXIT PORCHES, ETC.
8. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR 12", WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
9. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND/OR FINAL CONNECTION OF SERVICES.
10. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SEWER LINES. THE VERTICAL SEPARATION IS TO BE A MINIMUM OF 18".
11. REFER TO THE SITE MECHANICAL AND ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
12. ALL SITEWORK SHALL MEET OR EXCEED SUMMERVILLE PUBLIC UTILITIES AND ALDI STORES INC. STANDARDS AND THE SITEWORK SPECIFICATIONS.
13. CONTRACTOR TO PROVIDE ALL TRENCHING, BACKFILLING, & INSTALL ALL ELECTRICAL CONDUITS TO UTILITY COMPANY SPECIFICATIONS.
14. LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR & THE PROPER UTILITY COMPANY PROVIDING SERVICE.
15. GENERAL CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.
16. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
17. ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO BUILDING.
18. ASSOCIATED MATERIALS AND COST BY GENERAL CONTRACTOR.
19. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINE SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
20. RESTRAINED JOINTS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
21. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
22. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
23. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.

SUMMERVILLE CPW STANDARD SEWER NOTES

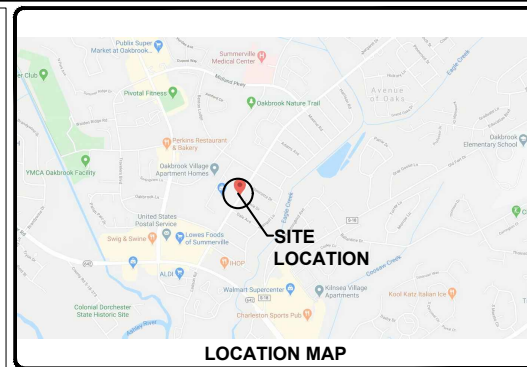
1. ALL MATERIALS AND INSTALLATION PROCEDURES MUST MEET THE REQUIREMENTS OF THE SUMMERVILLE CPW, SCDHEC AND THE MANUFACTURER.
2. THE DEVELOPER SHALL BE AWARE THAT ANY WASTEWATER SYSTEM RELOCATIONS NECESSITATED TO ACCOMMODATE THE DEVELOPMENT WILL BE PERFORMED AT THE DEVELOPER'S EXPENSE (I.E. SERVICE RELOCATIONS TO ACCOMMODATE DRIVEWAYS).
3. SIX INCH WIDE, GREEN METALLIC WARNING TAPE SHALL BE PLACED 18 INCHES ABOVE ALL GRAVITY AND FORCE MAIN WASTEWATER SYSTEMS. NUMBER TWELVE (12) SOLID STRAND COPPER OR EXTRA-HIGH STRENGTH COPPER CLAD CARBON STEEL WIRE, WITH GREEN POLYETHYLENE INSULATION SHALL BE TAPED (EVERY 5 FEET MAX.) TO THE TOP OF ALL FORCE MAINS AND SERVICES. EACH WIRE SHALL TERMINATE AT A VALVE.
4. IN LOCATIONS WHERE THE WASTEWATER MAIN IS DESIGNED TO HAVE LESS THAN 5.5 FEET OF COVER, THE WATER MAIN SHALL BE INSTALLED WITH FULL JOINTS OF DUCTILE IRON PIPE CENTERED AT THE PIPE INTERSECTION. THE WASTEWATER SERVICE PIPES SHALL BE INSTALLED WITH FULL JOINTS OF C900 PVC PIPE CENTERED AT THE PIPE INTERSECTION.
5. ALL WASTEWATER SYSTEM AND WATER OR STORM DRAIN PIPE CROSSINGS SHALL HAVE 1.5 FEET MINIMUM VERTICAL SEPARATION. OTHERWISE, A JOINT OF DUCTILE IRON PIPE WILL BE REQUIRED ON THE WATER PIPE, CENTERED AT THE CROSSING. A JOINT OF C900 PVC PIPE OR IN EXTREME CIRCUMSTANCES C900 PVC PIPE IN CASING WILL BE REQUIRED FOR THE WASTEWATER PIPE, CENTERED AT THE CROSSING.
6. THE CONTRACTOR SHALL PROVIDE SCWP WRITTEN NOTICE 48 HOURS PRIOR TO INITIATING CONSTRUCTION AND/OR MAKING CONNECTIONS TO THE EXISTING SYSTEM. THIS INCLUDES RETURN TRIPS AFTER LAYOFFS EXCEEDING 5 WORKING DAYS.
7. ALL GRAVITY AND FORCE MAIN WASTEWATER SYSTEMS SHALL HAVE 3 FEET MINIMUM COVER, EXCEPT WHERE BENDS ARE USED TO DEFLECT THE LINES ABOVE OR BELOW CONFLICTS. GRAVITY WASTEWATER SERVICES SHALL HAVE 6 FEET MAXIMUM COVER AT THE PROPERTY OR EASEMENT LINE.
8. SCWP MUST BE PROVIDED WITH A COMPLETE WASTEWATER SYSTEM AS-BUILT PRIOR TO THE FINAL INSPECTION BEING SCHEDULED.
9. IN AREAS WHERE THE EXISTING GRADE REQUIRES FILL TO OBTAIN 3 FEET MINIMUM COVER OVER THE PROPOSED WASTEWATER SYSTEM, THE FILL MUST BE PLACED PRIOR TO CONSTRUCTION OF THE WASTEWATER SYSTEM BEING INITIATED.
10. CONSTRUCTION OF THE WASTEWATER SERVICES AND FORCE MAIN PIPING SHALL NOT BE INITIATED UNTIL THE FINAL SITE GRADES HAVE BEEN ESTABLISHED (+/- 0.5 FOOT). A LETTER FROM THE ENGINEER STATING THAT THIS CONDITION HAS BEEN MET SHOULD BE OBTAINED BY CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
11. THE INVERT IN OF THE EXISTING MANHOLE THAT A NEW SEWER MAIN EXTENSION IS CONNECTING TO SHALL BE PLUGGED UNTIL THE PERMIT TO OPERATE IS ISSUED BY SCDHEC.
12. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A CCTV INSPECTION OF THE WASTEWATER SYSTEM WITH SCWP PERSONNEL PRESENT. THE CONTRACTOR SHALL SCHEDULE SCWP 48 HOURS WRITTEN NOTICE PRIOR TO SCHEDULING THE INSPECTION. SCWP WILL PERFORM A REINSPECTION 18 MONTHS AFTER THE WASTEWATER SYSTEM HAS BEEN ACCEPTED TO IDENTIFY ANY MANUFACTURER'S OR INSTALLATION DEFECTS BEFORE THE TWO YEAR WARRANTY EXPIRATION.

SUMMERVILLE CPW STANDARD WATER NOTES

1. ALL MATERIALS AND INSTALLATION PROCEDURES MUST MEET THE REQUIREMENTS OF SUMMERVILLE CPW, SCDHEC AND THE MANUFACTURER.
2. CONSTRUCTION OF THE WATER SYSTEM SHALL NOT BE INITIATED UNTIL THE FINAL SITE GRADES HAVE BEEN ESTABLISHED (+/- 0.5 FOOT). A LETTER FROM THE DESIGN ENGINEER STATING THAT THIS CONDITION HAS BEEN MET SHOULD BE OBTAINED BY THE WATER MAIN CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
3. THE DEVELOPER SHALL BE AWARE THAT ANY WATER SYSTEM RELOCATIONS NECESSITATED TO ACCOMMODATE THE DEVELOPMENT WILL BE PERFORMED AT THE DEVELOPER'S EXPENSE (I.E. SERVICE RELOCATIONS TO ACCOMMODATE DRIVEWAYS).
4. SIX INCH WIDE, BLUE METALLIC WARNING TAPE SHALL BE PLACED 18 INCHES ABOVE ALL WATER MAINS AND SERVICES. NUMBER TWELVE (12) SOLID STRAND, COPPER WIRE WITH BLUE INSULATION SHALL BE TAPED (EVERY 5 FEET MAX.) TO THE TOP OF ALL WATER MAINS AND SERVICES. EACH WIRE SHALL TERMINATE AT A VALVE, HYDRANT OR CURB STOP.
5. IN LOCATIONS WHERE THE WASTEWATER SYSTEM IS DESIGNED TO HAVE LESS THAN 5.5 FEET OF COVER, THE WATER MAIN SHALL BE INSTALLED WITH A FULL JOINT OF DUCTILE IRON PIPE AND THE SEWER MAIN SHALL BE INSTALLED WITH A FULL JOINT OF C900 PVC SEWER PIPE, CENTERED AT THE PIPE INTERSECTIONS.
6. THE CONTRACTOR SHALL PROVIDE SCWP WRITTEN NOTICE 48 HOURS PRIOR TO INITIATING CONSTRUCTION AND/OR MAKING CONNECTIONS TO THE EXISTING SYSTEM. THIS INCLUDES RETURN TRIPS AFTER LAYOFFS EXCEEDING 5 WORKING DAYS.
7. ALL WATER LINES SHALL HAVE 3 FEET MINIMUM COVER AND 5 FEET MAXIMUM COVER, EXCEPT WHERE BENDS ARE USED TO DEFLECT THE LINES ABOVE OR BELOW CONFLICTS.
8. SCWP MUST BE PROVIDED WITH A COMPLETE WATER SYSTEM AS-BUILT PRIOR TO THE FINAL INSPECTION BEING SCHEDULED.
9. WATER SYSTEM APPURTENANCES ARE DRAWN OUT OF SCALE FOR CLARITY. WHEREVER POSSIBLE, VALVES AND FITTINGS SHOULD BE INSTALLED AS CLOSE TOGETHER AS PRACTICAL.
10. ALL WATER MAIN AND WASTEWATER OR STORM DRAIN PIPE CROSSINGS SHALL HAVE 18 INCHES MINIMUM VERTICAL SEPARATION. OTHERWISE, A JOINT OF DUCTILE IRON PIPE WILL BE REQUIRED ON THE WATER PIPE AND A JOINT OF C900 PVC SEWER PIPE WILL BE REQUIRED ON THE WASTEWATER PIPE CENTERED AT THE CROSSING. CASING MAY BE REQUIRED ON A CASE BY CASE BASIS.
11. WATER MAIN PRESSURE TEST RESULTS AND BACTERIOLOGICAL TESTING RESULTS ARE GOOD FOR A PERIOD OF 30 DAYS FROM THE DATE THEY WERE CONDUCTED. IF THE SUBMITTAL FOR THE PERMIT TO OPERATE HAS NOT BEEN SENT TO SCDHEC PRIOR TO THIS PERIOD EXPIRING, RETESTING OF THE SYSTEM WILL BE REQUIRED.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		18" CONCRETE CURB & GUTTER
		STORM DRAIN PIPE
		STORM DRAIN INLET
		STORM DRAIN MANHOLE
		SANITARY SEWER LINE
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		WATER LINE
		GAS LINE
		UNDERGROUND ELECTRIC AND TELEPHONE LINE



UTILITY KEY

- ① 6" PVC SANITARY SEWER CONNECTION TO STUB OUT. INVERT SHOWN ON PLAN.
- ② 6" PVC SANITARY SEWER GREASE LINE EXIT POINT FROM BUILDING. INVERT SHOWN ON PLAN. REFER TO ARCHITECTURAL PLANS.
- ③ GREASE TRAP (BY OTHERS).
- ④ SANITARY SEWER CLEANOUT. INVERT SHOWN ON PLANS.
- ⑤ CONNECT TO EXISTING WATER MAIN STUB.
- ⑥ 1 1/2" DOMESTIC WATER ENTRY POINT TO BUILDING. REFER TO ARCHITECTURAL PLANS.
- ⑦ 1" DOMESTIC METER (MATERIAL AND LABOR PROVIDED BY SUMMERVILLE CPW).
- ⑧ DOMESTIC WATER DOUBLE CHECK VALVE BACKFLOW PREVENTER (PER SUMMERVILLE CPW).
- ⑨ 3/4" IRRIGATION WATER METER.
- ⑩ IRRIGATION REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER.
- ⑪ ELECTRIC SERVICE ENTRY POINT TO BUILDING. REFER TO ARCHITECTURAL PLANS.
- ⑫ GAS SERVICE ENTRY POINT TO BUILDING. REFER TO ARCHITECTURAL PLANS.
- ⑬ 6" PVC SANITARY SEWER DOMESTIC LINE EXIT POINT FROM BUILDING (RE-ARCHITECTURAL PLANS)

UTILITY CONTACTS

WATER AND SANITARY SEWER:
SUMMERVILLE CPW
215 N. CEDAR STREET
SUMMERVILLE, SC 29483
CONTACT: BK BONGE
PHONE: 843-872-0810
EMAIL: BBONGE@SUMMERVILLECPW.COM

GAS AND ELECTRIC:
DOMINION ENERGY
129 SPANIEL LANE
SUMMERVILLE, SC 29483
CONTACT: DILLON MORRIS
PHONE: 843-851-4818
EMAIL: JEREMY.MORRIS@DOMINIONENERGY.COM
TELEPHONE:
AT&T
PHONE: 844-904-6875

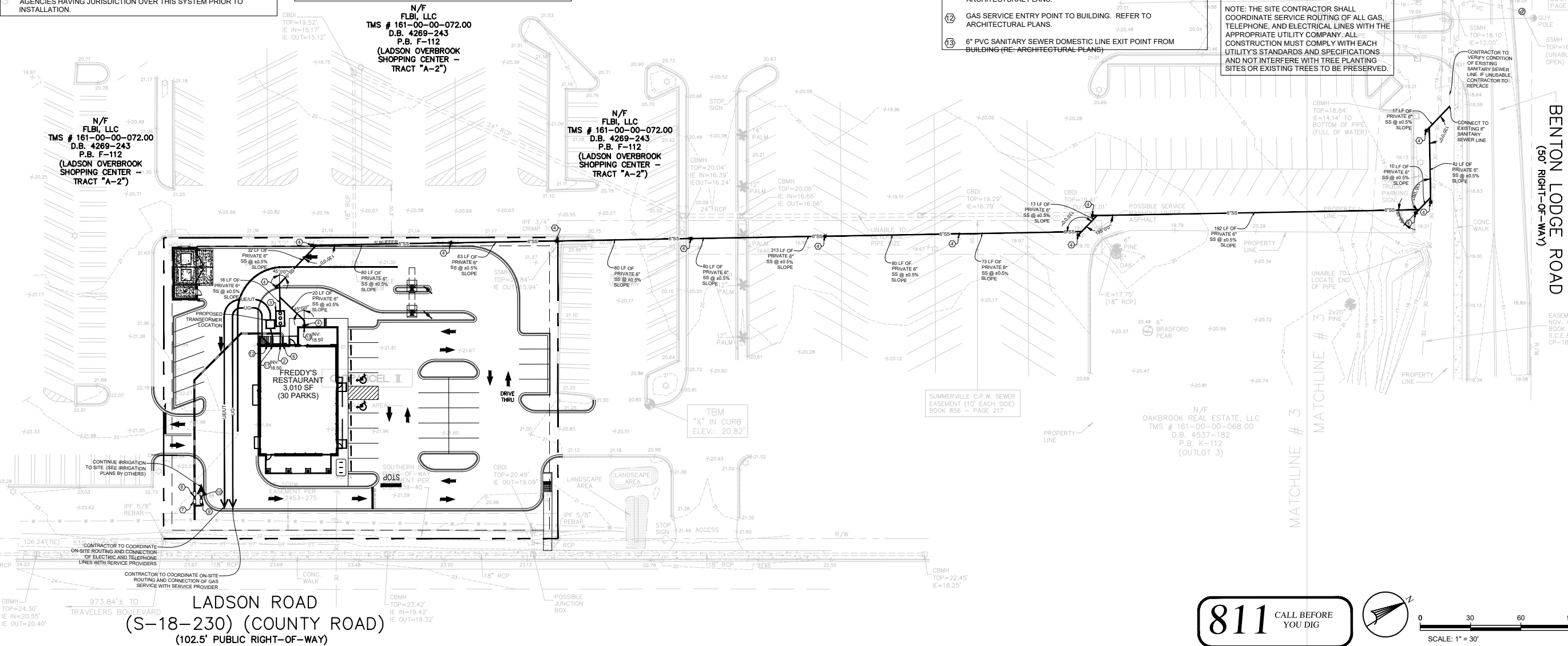
SERVICE LINE ENTRY AND EXIT POINTS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL REFER PLANS BY ARCHITECT AND MECHANICAL ENGINEER FOR EXACT LOCATIONS AND DEPTHS.

NOTE: DOUBLE CHECK BACKFLOW PREVENTION DEVICES FOR ALL METERS AND/OR FIRE LINES MUST BE TESTED AND APPROVED BEFORE ISSUANCE OF FINAL CERTIFICATE OCCUPANCY.

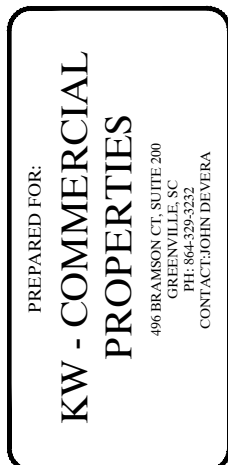
NOTE: ALL POTABLE WATER AND SANITARY SEWER WORK MUST BE DONE BY STATE LICENSED UTILITY CONTRACTOR.

NOTE: REFER TO ARCH PLANS FOR DESIGN OF GREASE TRAP AND LINE RUNNING TO BUILDING.

NOTE: THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.



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DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD

4500 LADSON ROAD
SUMMERVILLE, SC.

WINTER ARCHITECTS

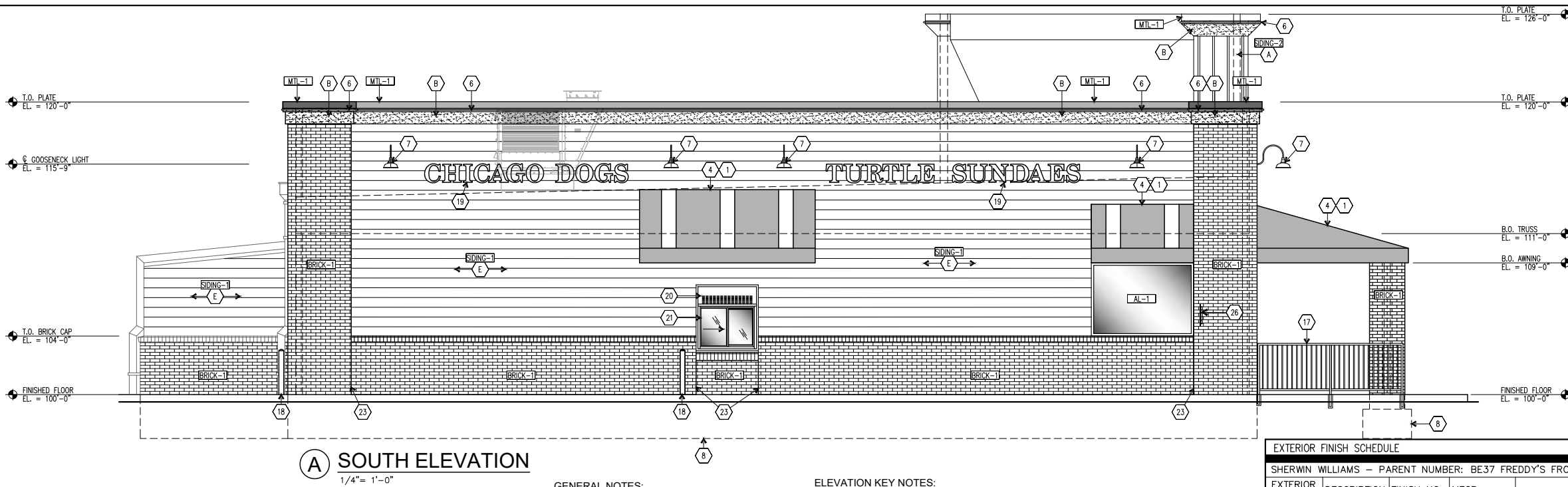
1024 EAST
FIRST STREET
WICHITA, KS.
67214
PH. 316-267-7142

EXTERIOR ELEVATIONS

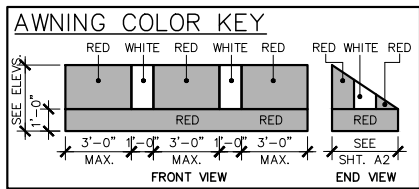
DATE
9/30/2020

DRAWN BY:
TDF
CHECKED BY:
DW

SHEET NO.
A4



(A) SOUTH ELEVATION
1/4" = 1'-0"



GENERAL NOTES:

SIGNS SHOWN ON THESE ELEVATIONS ARE FOR CODE REVIEW PURPOSES ONLY. THESE SIGN ELEVATIONS ARE NOT TO BE USED AS OR CONSTRUED AS SHOP DRAWINGS FOR SIGN CONSTRUCTION. SIGN SHOP DRAWINGS ARE PRODUCED BY THE SIGN MANUFACTURER FOR REVIEW AND APPROVAL BY THE OWNER.

NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER. AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER. AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

CAULKING COLOR NOTE:
-AT EIFS / BRICK - MATCH EIFS
-AT EIFS / SIDING - MATCH EIFS
-AT BRICK / BRICK - MATCH BRICK
-AT SIDING / BRICK - MATCH SIDING
-AT SIDING / SIDING - MATCH SIDING
-AT SIDING / STOREFRONT - MATCH DARK BRONZE FRAME

ELEVATION KEY NOTES:

- (2)-TUBE, STRIP LED FIXTURES WITH CLEAR LENS COVERS TO BACK LIGHT AWNINGS, TYP. SUPPLIED BY OWNER. WIRED & INSTALLED BY ELEC. CONTR.
- PROVIDE CUSTOM FABRICATED THRU-WALL SCUPPER LOCATED AS SHOWN W/ CONDUCTOR HEAD OF GALV. MTL. (PTD. TO MATCH BACKGROUND) W/ OVERFLOW SLOT IN CONDUCTOR HEAD SEE DETAILS SHT. A5
- HOLLOW METAL EXIT DR. REF. DOOR SCHED.
- EXTERIOR VINYL AWNING & ALUM. FRAME BY OWNER AND AWNING MANUF. TYP. REF. AWNING COLOR KEY SHT'S A3 & A4
- NOT USED
- LED STRIP LIGHTING BY SIGN MFR. TYP.
- GOOSENECK LIGHT FIXTURE 'BLACK' CONCRETE FOUNDATION REFER TO STRUCTL. PLANS FOR SIZE AND DETAILS
- NOT USED
- NOT USED
- 40"x 30" DIAMOND TREAD PLATE
- SIGNAGE BY OWNER - INSTALLATION BY SIGNAGE MANUF., ELEC. CONNECTIONS BY G.C.
- EIFS OVER STYROFOAM 'CONE' BY GC APPROVED BY OWNER PRIOR TO INSTALLATION SEE DETAIL 1.2/A3.0
- WALL PACK LIGHT FIXTURE. ABOVE REAR DOOR - REF. ELEC. PLANS
- GAS METER PTD. VERIFY LOC.
- REFER TO DETAIL 4/A3 FOR GUARD RAIL DETAILS.
- 4" CONC. FILLED PIPE BOLLARD. FREDDY'S RED
- ILLUMINATED CHANNEL LETTERS BY SIGN MANUF.
- READY ACCESS MODEL AA300 CURTAIN - 275 PASS-THRU AIR CURTAIN SYSTEM W/ STATUARY BRONZE FIN. ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQ'TS. SEE MANUFACTURER FOR APPROPRIATE AIR CURTAIN CONFIGURATION BASED ON GEOGRAPHY.
- READY ACCESS MODEL 275 WINDOW/ MANUAL SINGLE PANEL SLIDER, 48"W x 60" H. R.O. (INCL. AIR CURTAIN ABOVE), MANUAL OPEN/ ELECTRONIC RELEASE - OPENS ON SIDE THE CAR APPROACHES. BRONZE FINISH - PROVIDED BY & INSTALLED BY G.C.
- RECESSED KNOX BOX
- BRICK EXPANSION JOINT REF. DETAIL 3/A3
- STEEL MESH HINGED GATE (W/LOCK) TO ENCLOSE BOTTOM OF ACCESS LADDER. (PAINT TO MATCH EIFS).
- ELECTRICAL CT CABINET & DISCONNECT - PTD., VERIFY LOCATION
- FREDDY'S PEDESTRIAN CROSSING SIGN. BOTTOM OF SIGN @ 56" A.F.F.

EXTERIOR FINISH SCHEDULE

SHERWIN WILLIAMS - PARENT NUMBER: BE37 FREDDY'S FROZEN CUSTARD						
EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MFGR.	MFGR. NO.	COLOR	REMARKS
BUILDING WALLS	PAINT	(A)	SHERWIN WILLIAMS	#7533	KHAKI SHADE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BUILDING TRIM	PAINT *	(B)	SHERWIN WILLIAMS	#6126	FREDDY'S PEARL	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
CONE	PAINT *	(C)	SHERWIN WILLIAMS	#17-143	BISCUIT FREDDY'S CONE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
CUSTARD	PAINT *	(D)	SHERWIN WILLIAMS	#17-313	FREDDY'S ICE WHITE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BUILDING WALLS	PAINT	(E)	SHERWIN WILLIAMS	#7567	NATURAL TAN	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BOLLARD	PAINT	(P3)	SHERWIN WILLIAMS	#17-572	FREDDY'S RED	PAINT WITH TWO COATS HIGH PERFORMANCE ACRYLIC (GLOSS)
GUARD RAIL	PAINT	(P4)	SHERWIN WILLIAMS	#666B300	FREDDY'S JET BLACK	PAINT WITH TWO COATS HIGH PERFORMANCE ACRYLIC (GLOSS)

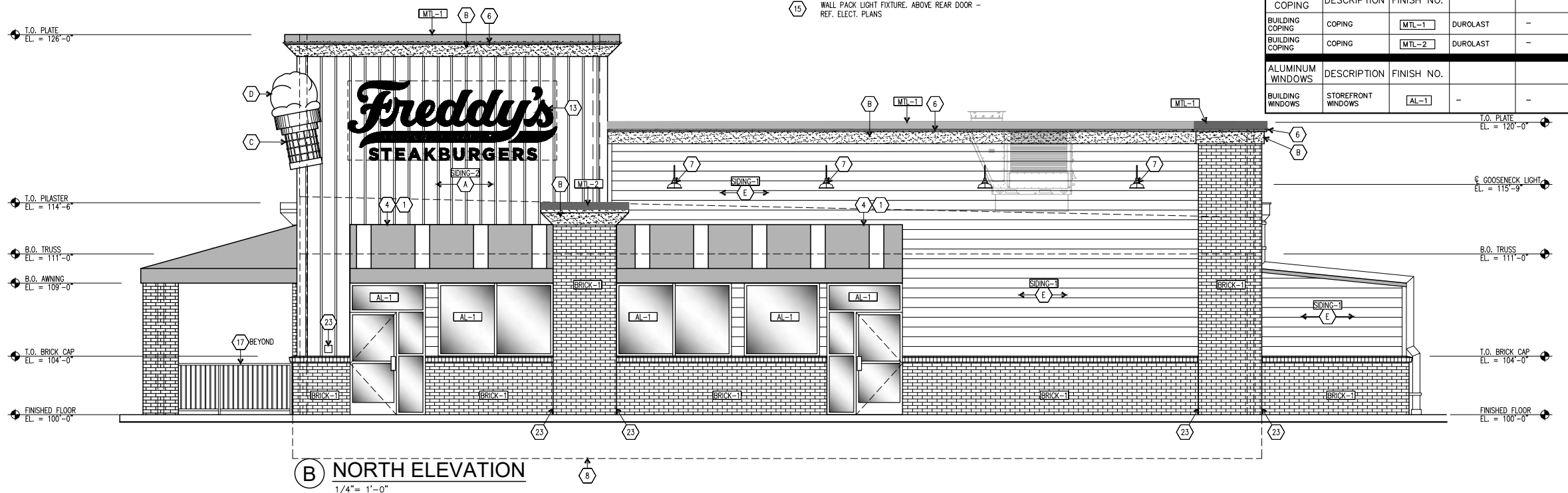
* NOTE: ALL EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) IS PRE-MIXED WITH SHERWIN-WILLIAMS COLORS AS SPEC'D. ABOVE, NO PAINTING OF BUILDING E.I.F.S. (INCL. CONE) IS REQUIRED.

EXTERIOR BRICK	DESCRIPTION	FINISH NO.	MFGR.	COLOR & TEXTURE	REMARKS
BUILDING BRICK	BRICK MODULAR	(BRICK-1)	MERIDIAN BRICK	COLUMBIA ARCHITECTURAL SERIES	WAVERLY MILLS GROUT COLOR - GRAY

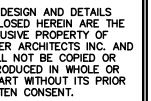
EXTERIOR SIDING	DESCRIPTION	FINISH NO.	COLOR	REMARKS
BUILDING SIDING	HARDIE BOARD HORIZONTAL LAP SIDING	(SIDING-1)	JAMES HARDIE	FACTORY PRIMER 8" X 144" BOARDS
BUILDING SIDING	HARDIE BOARD VERTICAL BOARD & BATTON	(SIDING-2)	JAMES HARDIE	FACTORY PRIMER 48" X 96" PANELS

METAL COPING	DESCRIPTION	FINISH NO.	COLOR	REMARKS
BUILDING COPING	COPING	(MTL-1)	DUROLAST	BRITE RED 2 PC COMPRESSION COPING CAP. SLOPE TOWARDS ROOF.
BUILDING COPING	COPING	(MTL-2)	DUROLAST	BONE WHITE 2 PC COMPRESSION COPING CAP. SLOPE TOWARDS ROOF.

ALUMINUM WINDOWS	DESCRIPTION	FINISH NO.	COLOR	REMARKS
BUILDING WINDOWS	STOREFRONT WINDOWS	(AL-1)	-	DARK BRONZE ANOD. ALUM. STOREFRONT FRAMES W/THERMAL BREAK AND 1" INSULATED, TEMPERED LOW 'E' GLAZING



(B) NORTH ELEVATION
1/4" = 1'-0"



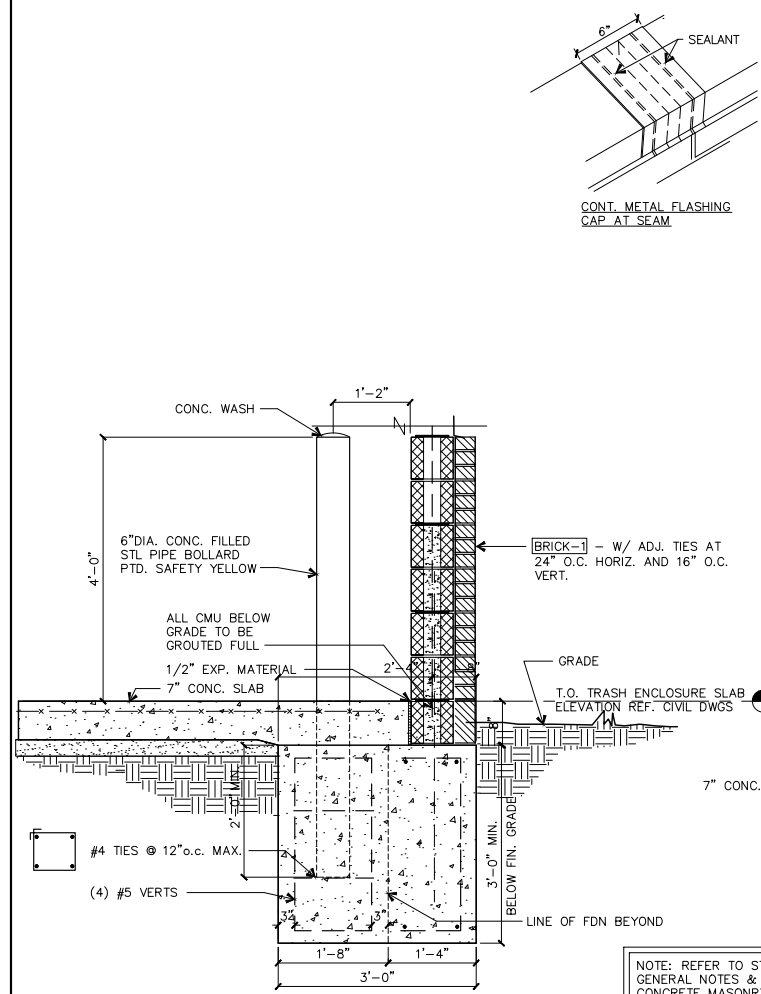
FREDDY'S FROZEN CUSTARD
4500 LADSON ROAD
SUMMERVILLE, SC.

WASH ENCLOSURE PLAN & DETAILS

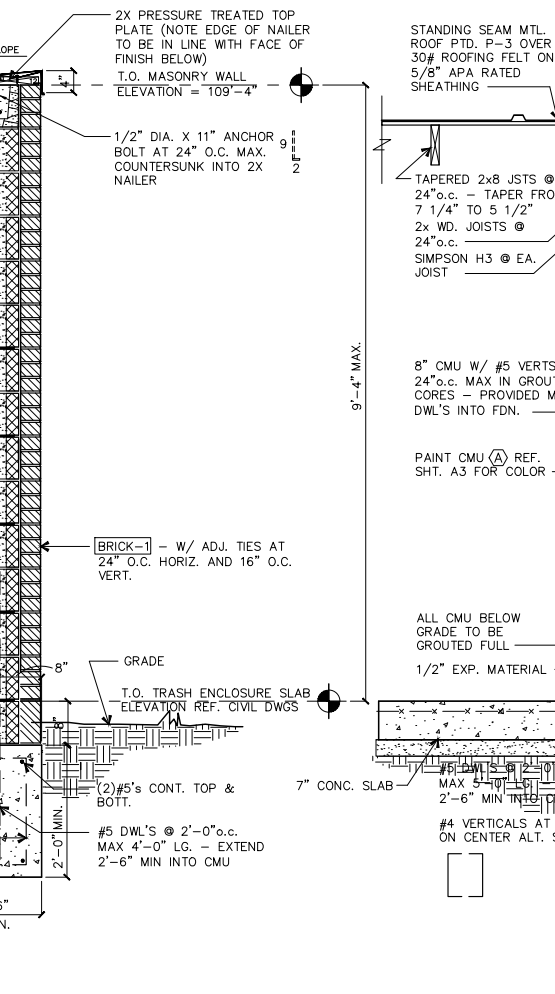
DATE
9/30/2020

DRAWN BY: TDF
CHECKED BY: DW

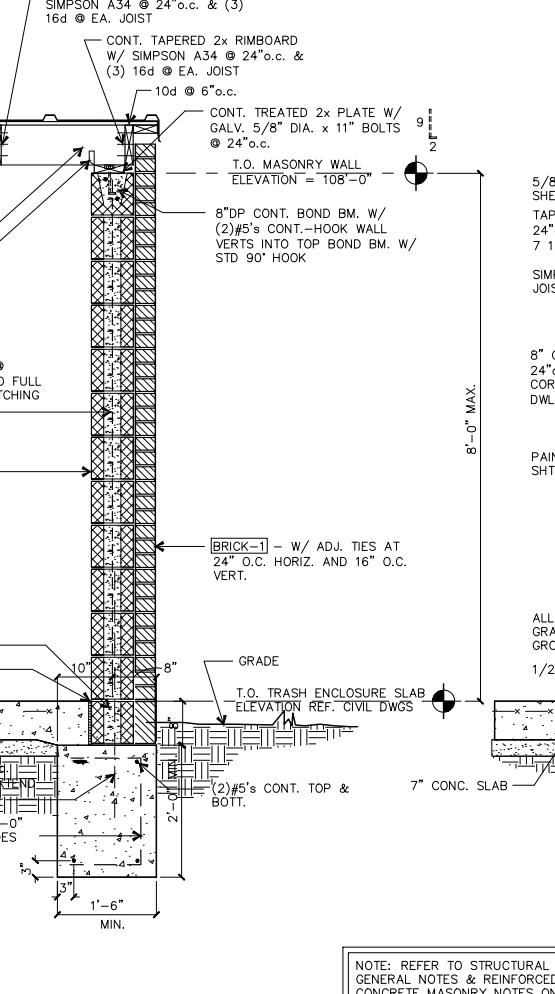
SHEET NO.
SA3



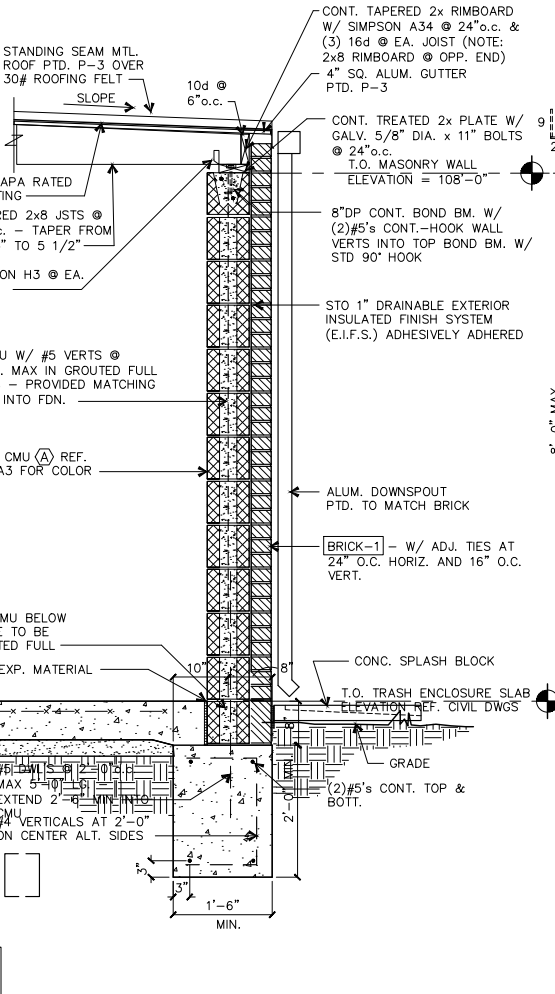
1 TRASH ENCLOSURE WALL
3/4"=1'-0"



2 TRASH ENCLOSURE WALL
3/4"=1'-0"



3 TRASH ENCLOSURE WALL
3/4"=1'-0"



4 TRASH ENCLOSURE WALL
3/4"=1'-0"

NOTE: REFER TO STRUCTURAL
GENERAL NOTES & REINFORCED
CONCRETE MASONRY NOTES ON
SHEET S-0 OF THE BUILDING
CONSTRUCTION DOCUMENTS

NOTE: REFER TO STRUCTURAL
GENERAL NOTES & REINFORCED
CONCRETE MASONRY NOTES ON
SHEET S-0 OF THE BUILDING
CONSTRUCTION DOCUMENTS



METAL COPING

2 PIECE COMPRESSION
COPING CAP (BRITE RED)
BY DUROLAST MTL-1
SLOPE TOWARDS ROOF



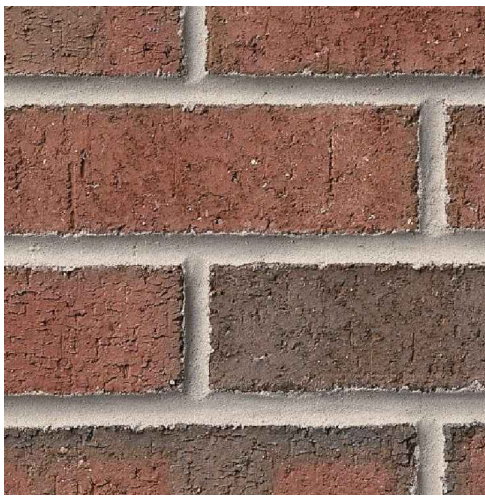
METAL COPING

2 PIECE COMPRESSION
COPING CAP (BONE WHITE)
BY DUROLAST MTL-2
SLOPE TOWARDS ROOF



LIGHT FIXTURE

GOOSENECK LIGHT FIXTURE
(BLACK) PROVIDE BLOCKING
FOR ATTACHMENT



BRICK VENEER

MERIDIAN BRICK
COLUMBIA ARCHITECTURAL SERIES
WAVERLY MILLS



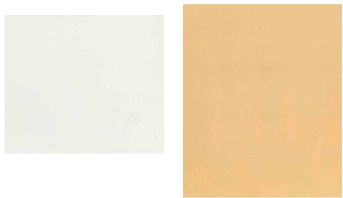
HARDIE BOARD VERTICAL BOARD &
BATTEN SIDING (FACTORY PRIMER)
OVER STOGUARD WATERPROOFING/AIR
BARRIER. PAINT WITH SW #7533 KHAKI
SHADE.

VERTICAL SIDING
HARDIE BOARD & BATTEN



HORIZONTAL SIDING
HARDIE BOARD

HARDIE BOARD HORIZONTAL SIDING
(FACTORY PRIMER) OVER STOGUARD
WATERPROOFING/AIR BARRIER. PAINT
WITH SW #7567 NATURAL TAN.



E.I.F.S. CONE

EXTERIOR INSULATED FINISH SYSTEM

SW 17-313 FREDDY'S ICE
WHITE
SW 17-143 FREDDY'S
BISCUIT CONE



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DISCLOSED HEREIN ARE THE
EXCLUSIVE PROPERTY OF
WINTER ARCHITECTS INC. AND
SHALL NOT BE COPIED OR
REPRODUCED IN WHOLE OR
IN PART WITHOUT ITS PRIOR
WRITTEN CONSENT.

DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD
4500 LADSON ROAD
SUMMERVILLE, SC.

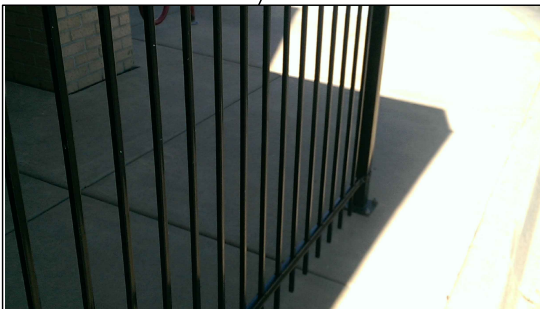
**WINTER
ARCHITECTS**
1024 EAST
FIRST STREET
WICHITA, KS.
67214
PH. 316-267-7142

MATERIALS
BOARD

DATE
9/30/2020

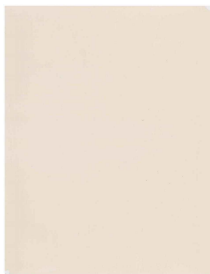
DRAWN BY:
TDF
CHECKED BY:
DW

SHEET NO.
MB



PATIO GUARDRAIL

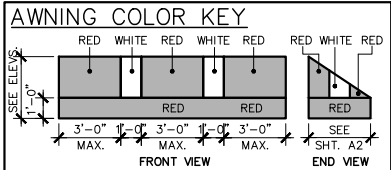
PAINTED SHERWIN WILLIAMS
#B66B300 FREDDY'S JET BLACK



E.I.F.S. CORNICE

EXTERIOR INSULATED FINISH SYSTEM

STO BRAND DRAINABLE EXTERIOR
INSULATED FINISH SYSTEM (E.I.F.S.)
WITH STOGUARD WATERPROOFING/AIR
BARRIER WITH SW #6126 FREDDY'S
PEARL MIXED INTO FIN. COAT






VINYL AWNING

RED & WHITE STRIPED VINYL AWNING



STOREFRONT

DK. BRONZE ALUM.
STOREFRONT
FRAMES w/ THERMAL
BREAK
& 1" INSUL. LOW "E"
GLAZING

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	1	K-5SH	SINGLE	1.010	17191	130	OSQ-A-NM-5SH-K-57K-_-_- w/OSQ-DA_
	1	K-4ME	SINGLE	0.990	17291	130	OSQ-A-NM-4ME-K-57K-_-_- w/OSQ-DA_
	2	K-5SH - 2	2 @ 180°	1.010	17191	130	OSQ-A-NM-5SH-K-57K-_-_- w/OSQ-DA_

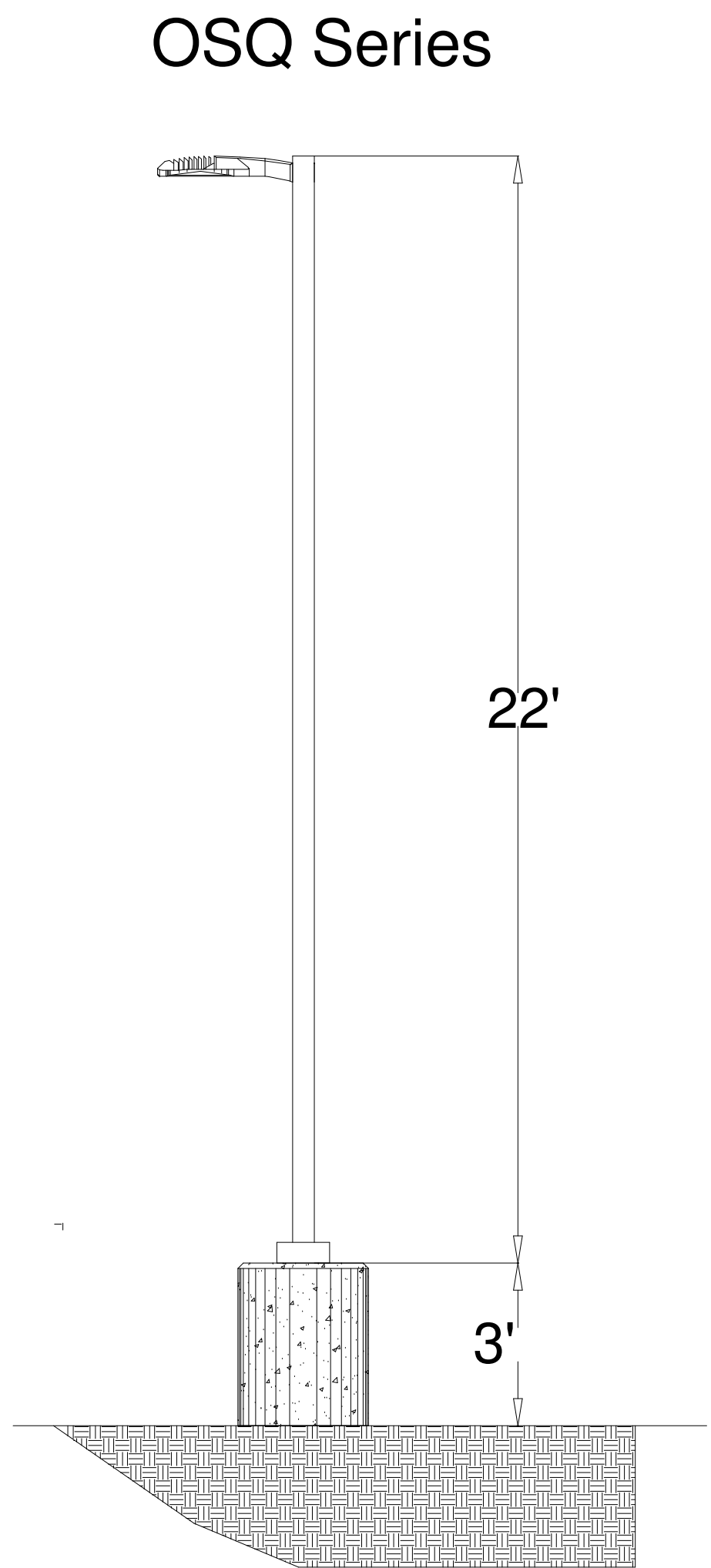
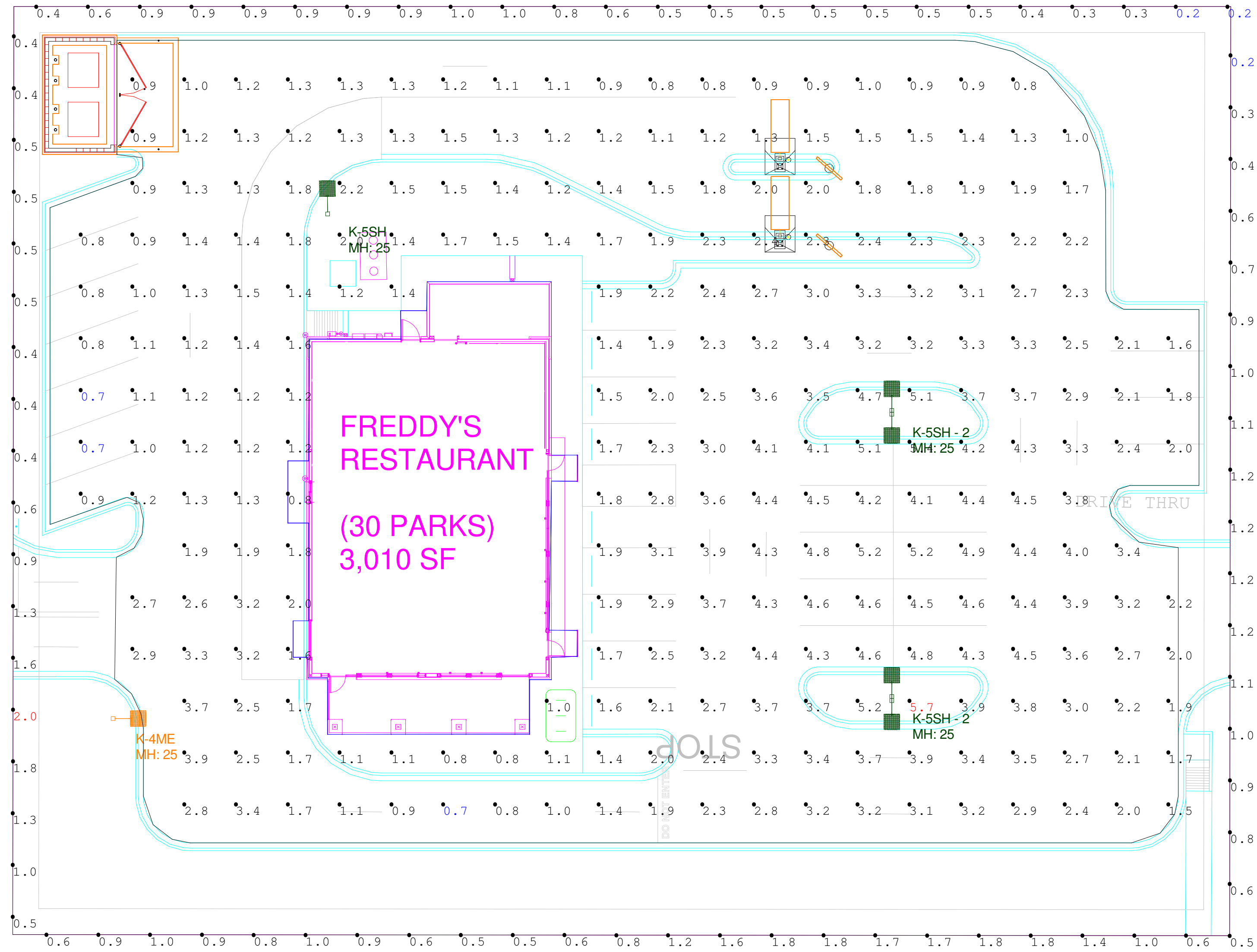
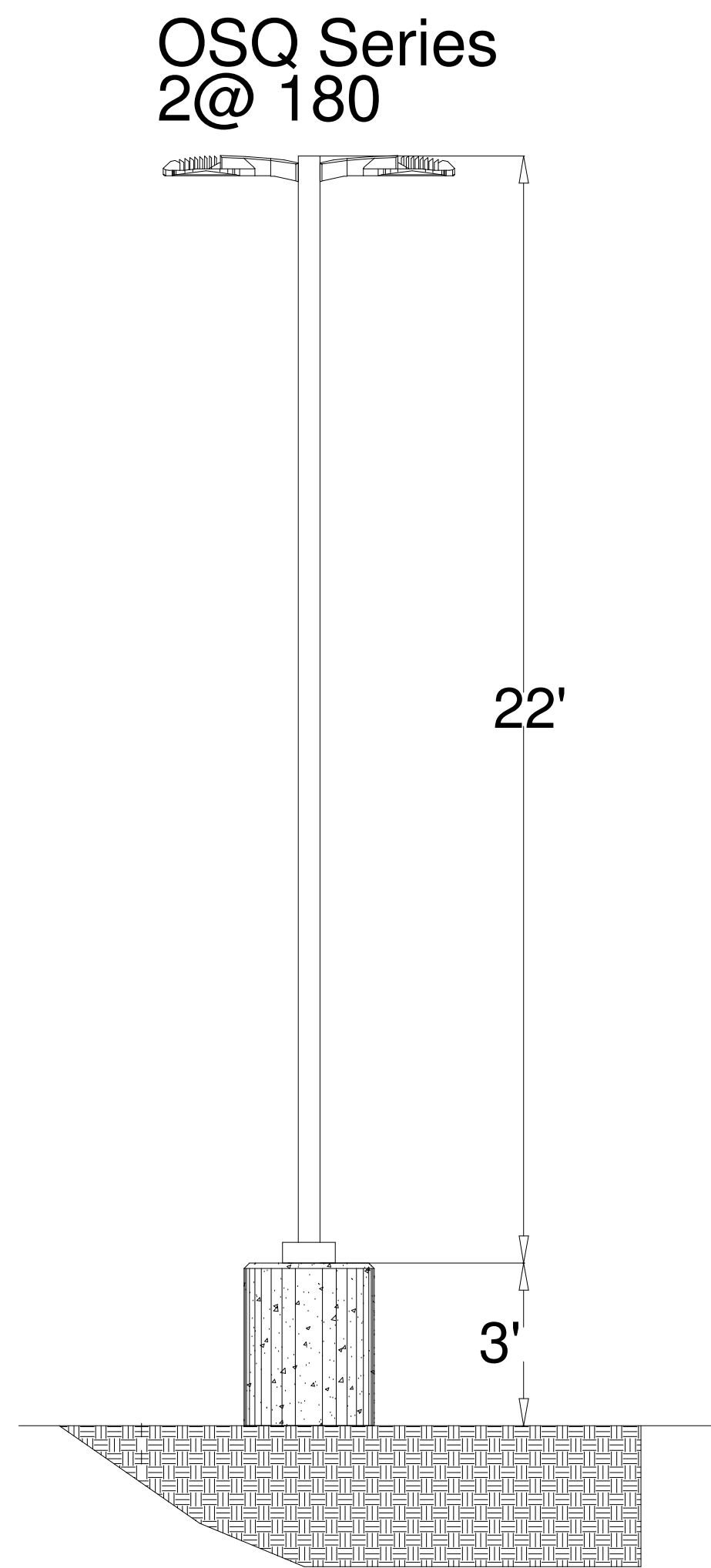
Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Fc	2.35	5.7	0.7	3.36	8.14
Property Line	Fc	0.84	2.0	0.2	4.20	10.00

Pole Schedule
(2) SSS-4-11-22-CW-BS-1D-C-_- (22' X 4" X 11ga STEEL SQUARE POLE)
(2) SSS-4-11-22-CW-BS-2D18-C-_- (22' X 4" X 11ga STEEL SQUARE POLE)
Proposed poles meet 120 MPH sustained winds.
All poles to be mounted atop of 3' concrete base

Additional Equipment:
(6) OSQ-DA_ Direct Arm Mount

MH in fixture label is Mounting Height

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



**STAFF REPORT
CDRB Meeting
October 15, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: October 7, 2020

GENERAL INFORMATION

Applicant: G&B Retail Group – George Sarkis
Property Owner: G&B Retail Group
Requested Action: The applicant is requesting Final Approval to place a shipping container to be placed on the property
Requested Approval: Final Approval
Existing Zoning: UC-MX Urban Corridor Mixed Use
Adjacent Zoning: **North:** UC-MX Urban Corridor Mixed Use
South: UC-MX Urban Corridor Mixed Use
East: Out Dorchester County
West: UC-MX Urban Corridor Mixed Use
Location: 1706 Old Trolley Road
Existing Land Use: Existing Retail
Prior Approvals: First Meeting

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

The applicant is requesting to place the shipping container on the property to accommodate the overflow product from the Sherwin Williams store. The store has been experiencing high volumes due to the current rate of construction in the area. The applicant has requested a two year approval. The proposed shipping container is located within the required buffer. This buffer is well established. If the container can be placed on the property without requiring tree removal, and not inhibiting site circulation staff is ok with the DRB approving the placement of the shipping container with the condition that it be revisited by the Board annually.

Untitled Map

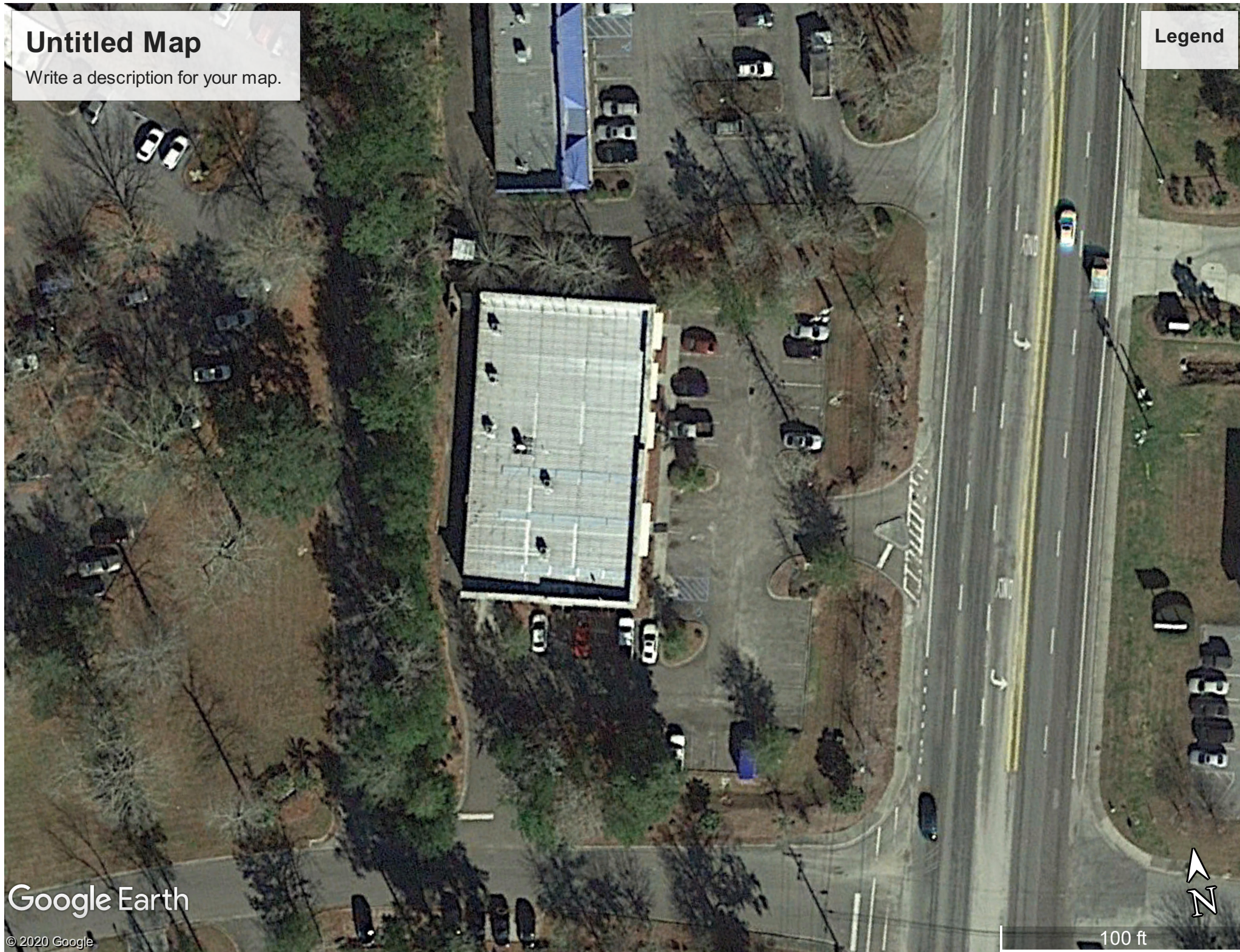
Write a description for your map.

Legend

Google Earth

© 2020 Google

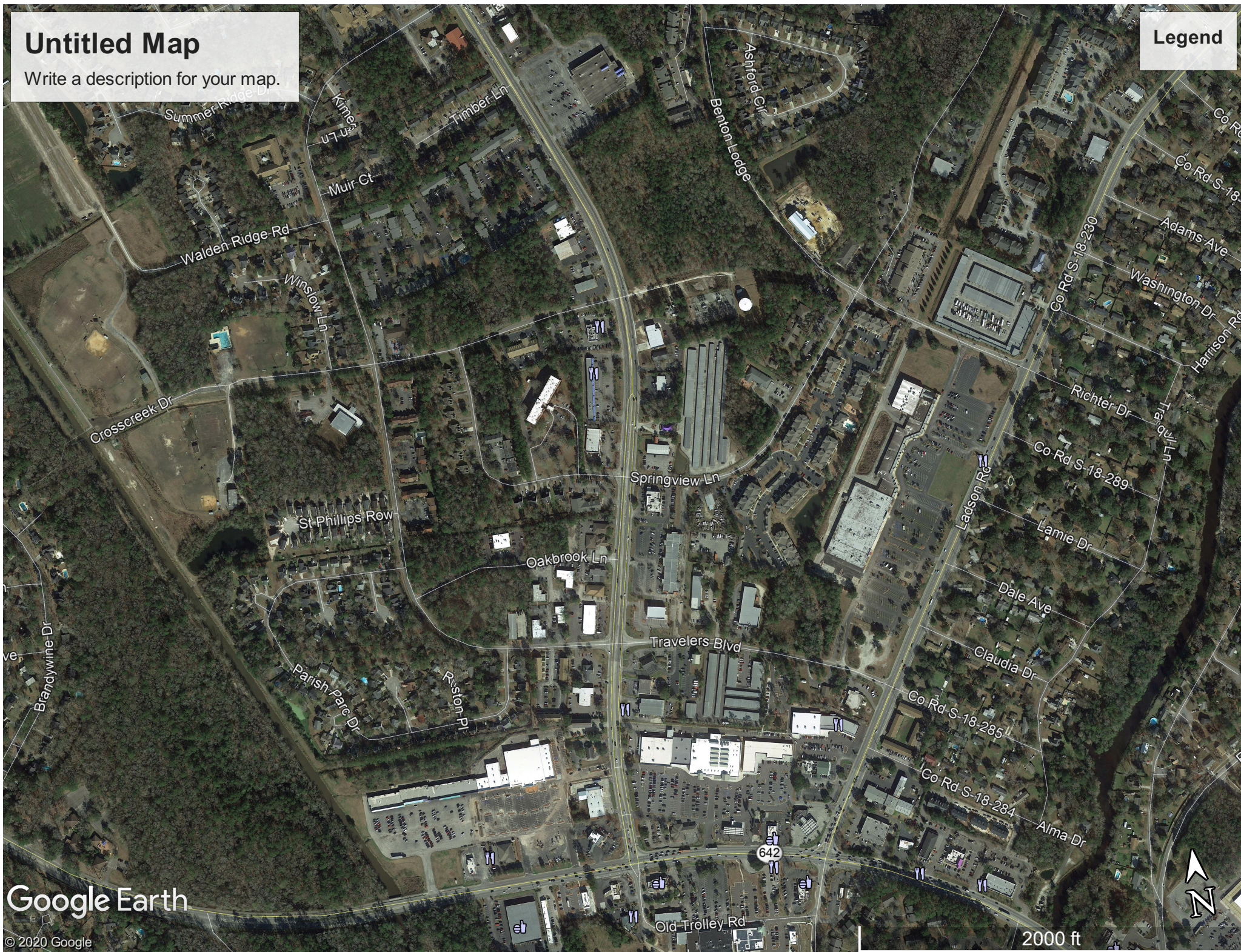
100 ft



Untitled Map

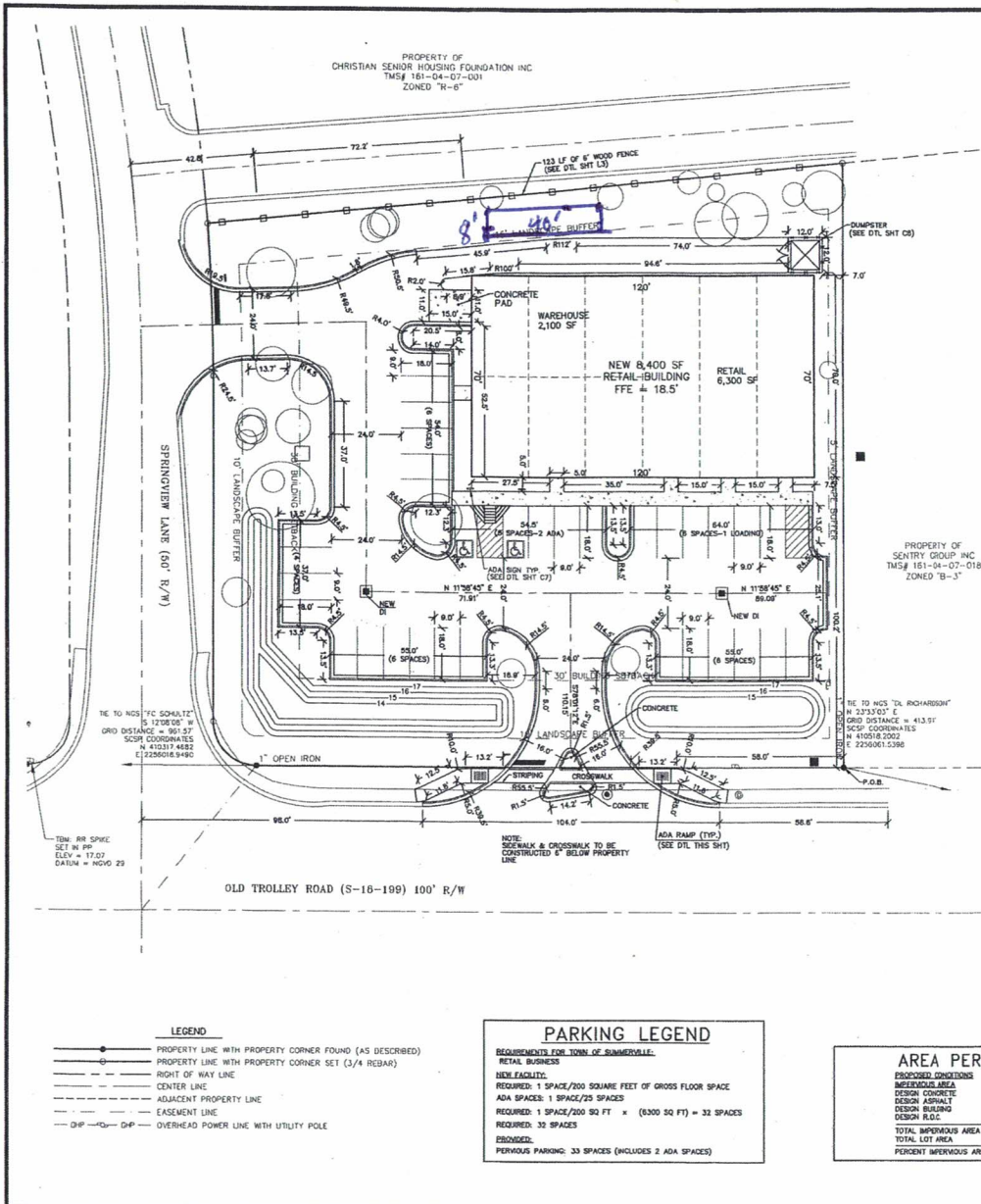
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Legend



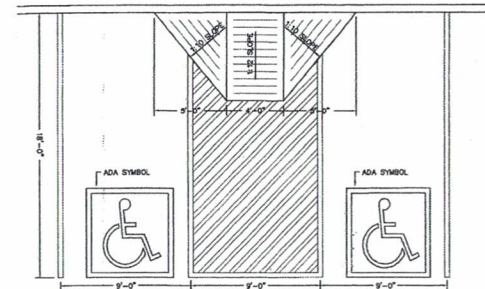
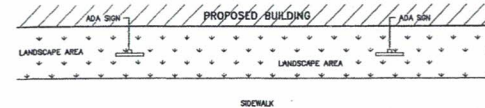
Google Earth

© 2020 Google

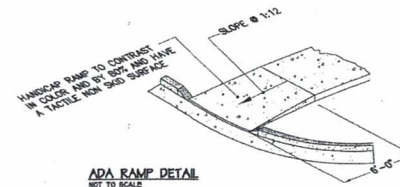


GENERAL NOTES

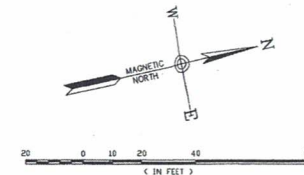
1. ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND SITE WORK SPECIFICATIONS.
2. ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
3. REFERENCE ARCHITECT'S PLANS FOR BUILDING DIMENSIONS, TRUSS DOORS, SIDEWALKS, DUMPSTER PADS, STEPS, TRANSFORMER PADS, ETC.
4. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
5. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION. CALL P.U.I.S. 1-800-922-0883 FOR UTILITY LINE LOCATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATIONS WITH THE REGULATORY AGENCY AS TO THE LOCATION AND SCHEDULING OF THE RE-AND-CONNECTING TO THEIR FACILITIES.
7. THE SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL, CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
8. NEW DRIVEWAY CONSTRUCTION AND PAVEMENT WORKING SHALL BE COORDINATED WITH THE STATE HIGHWAY DEPARTMENT. CALL 704-1555 A MINIMUM OF 48 HOURS IN ADVANCE.
9. CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, DETENTION POND, ETC. IMMEDIATELY PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DIRECTED BY THE ENGINEER OR REGULATORY AGENCIES.
10. ALL DIMENSIONS SHOWN ARE TO REFERENCE BACK OF CURB. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED ON THESE DRAWINGS.



ADA PARKING DETAIL
SCALE: N.T.S.



ADA RAMP DETAIL
NOT TO SCALE



ENGINEERS • ARCHITECTS • LAND SURVEYORS

224 Seven Farms Drive
Charleston, South Carolina 29402
(843) 284-2000 FAX: (843) 284-2001
Toll Free 1-888-BERENYI
www.berenyi.com

OLD TROLLEY ROAD STRIP CENTER

Corner of
Old Trolley Road and
Springview Lane
Town of
Summerville, SC



Site Plan

Revisions:	
1. Per Owner	05-11-05
2. Per CDDRB	07-25-05
3. Per SCDOT	8-8-05
4. Per SCDOT	8-12-05

Date: 05-11-05
Drawn By: G. Latta
Checked By:
Project Number:

04-028

Drawing Number:

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C4

Google Maps 1706 Old Trolley Rd

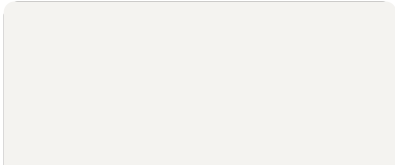


Image capture: Jan 2019 © 2020 Google

Summerville, South Carolina



Street View



Google Maps 282 Springview Ln

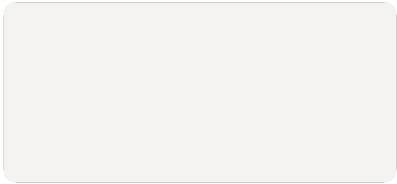


Image capture: Nov 2018 © 2020 Google

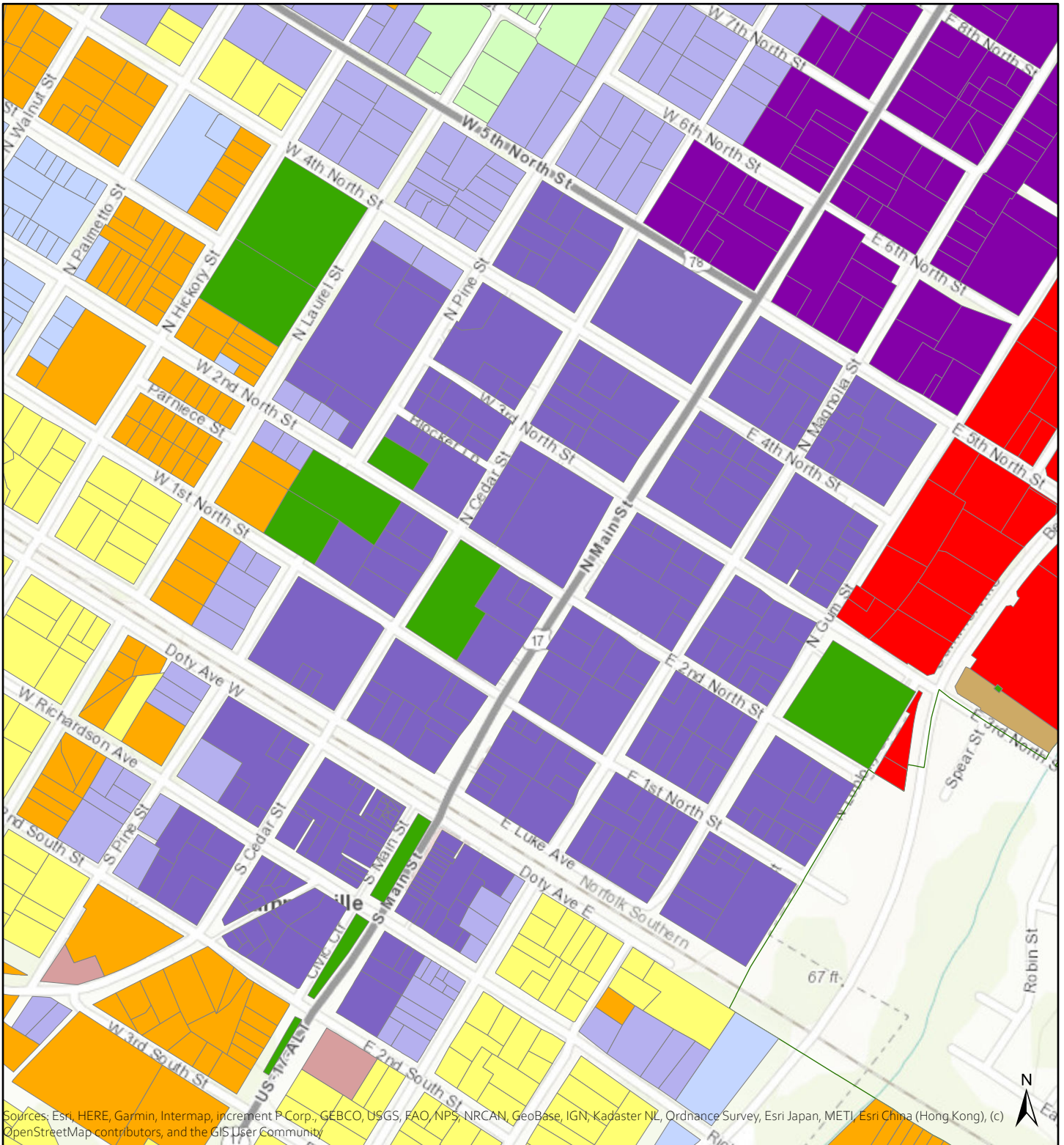
Summerville, South Carolina



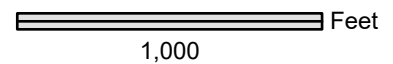
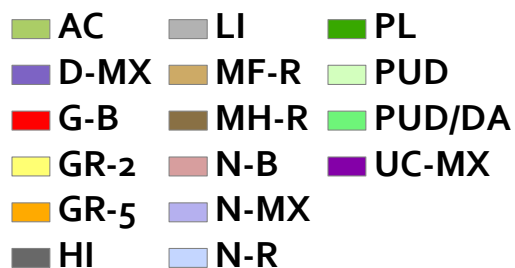
Street View



Downtown Summerville D-MX Zoning

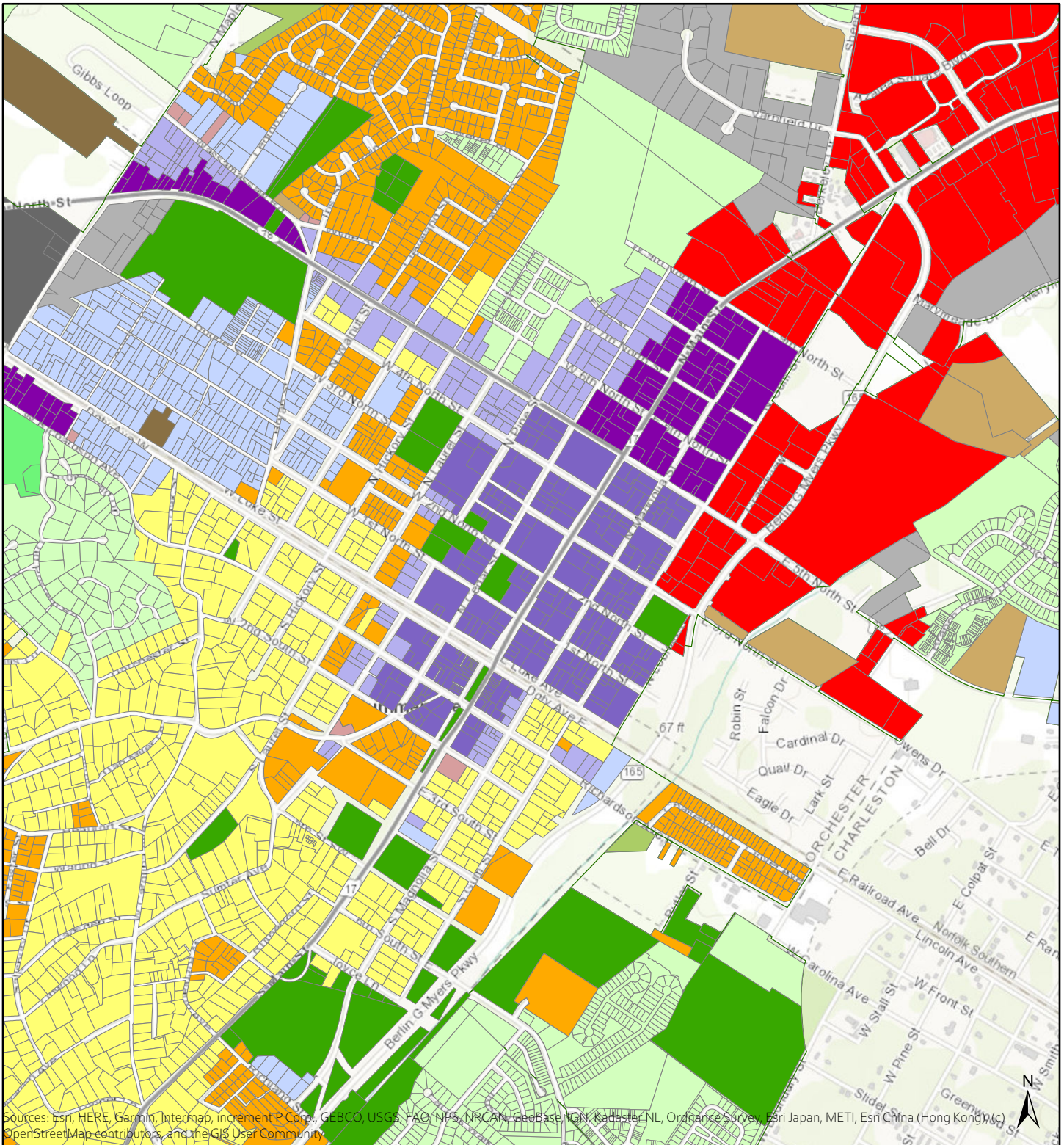


Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



This map is a graphic representation of data obtained from various sources. All efforts have been made to warrant the accuracy of this map; however, the Town of Summerville disclaims all representation and liability for the use of this map.

Downtown Summerville D-MX Zoning



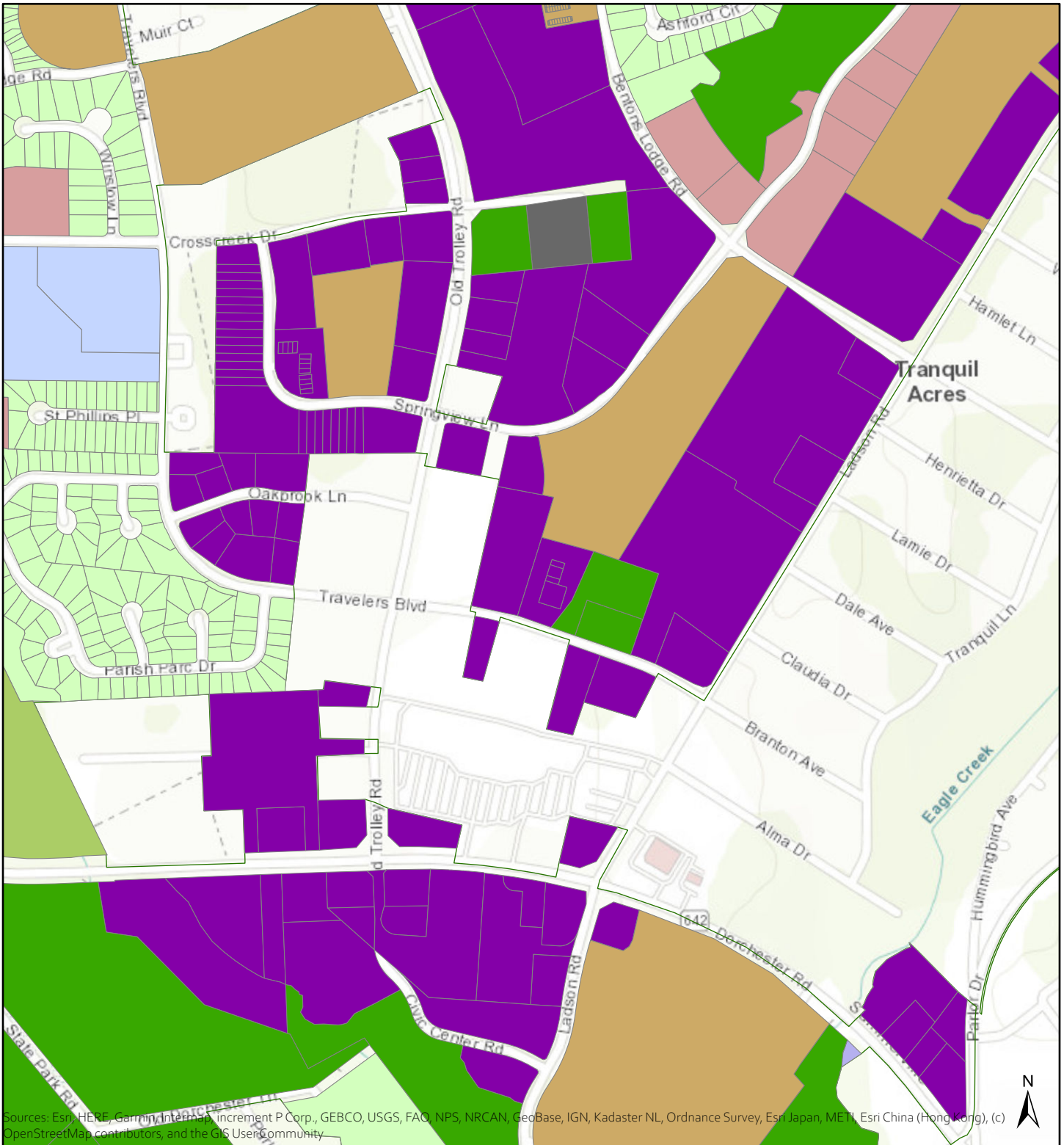
- | | | |
|------|------|--------|
| AC | LI | PL |
| D-MX | MF-R | PUD |
| G-B | MH-R | PUD/DA |
| GR-2 | N-B | UC-MX |
| GR-5 | N-MX | |
| HI | N-R | |



2,500 Feet

This map is a graphic representation of data obtained from various sources. All efforts have been made to warrant the accuracy of this map; however, the Town of Summerville disclaims all representation and liability for the use of this map.

Summerville Oakbrook UC-MX Zoning



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

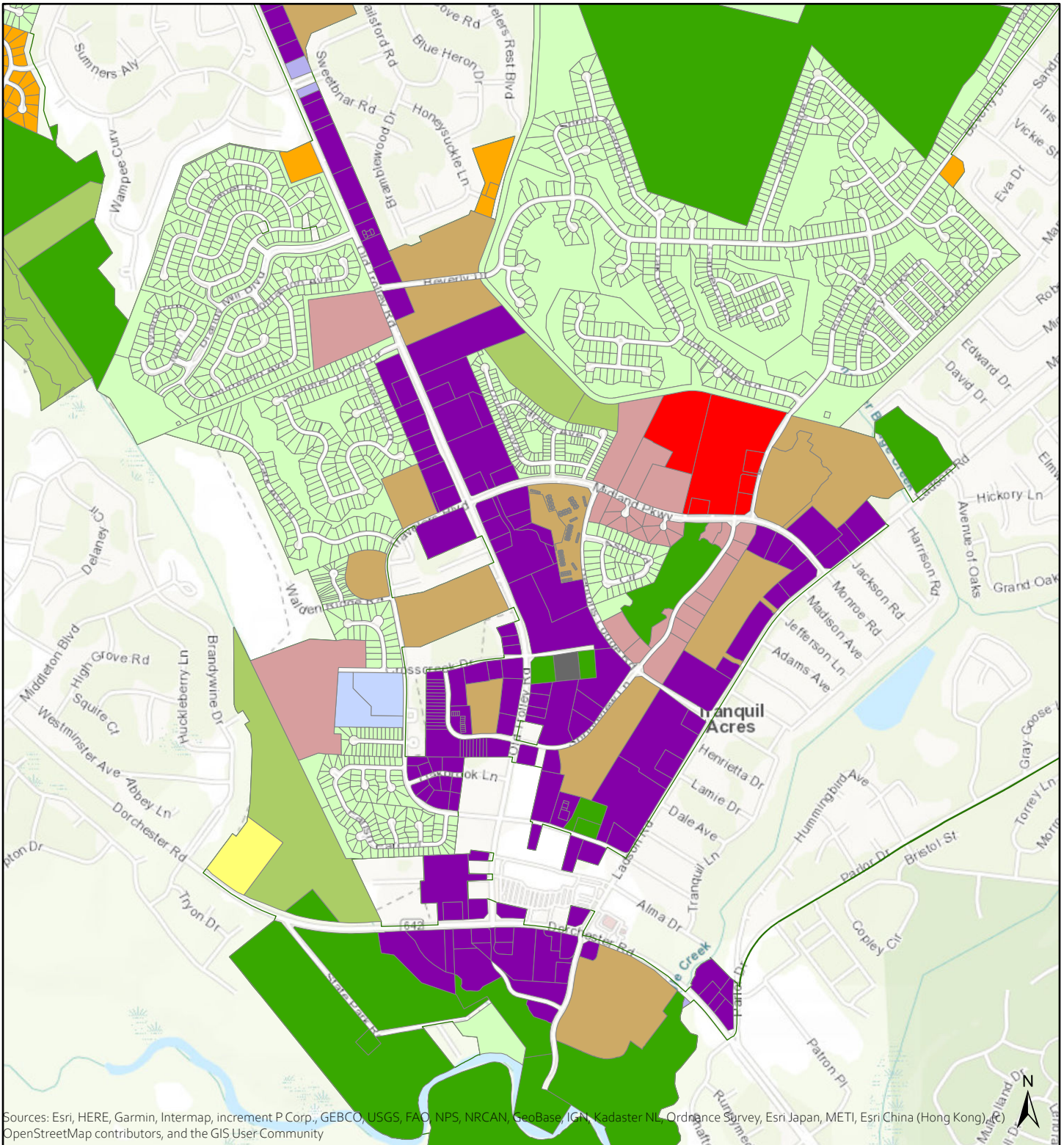
- | | | |
|------|------|--------|
| AC | LI | PL |
| D-MX | MF-R | PUD |
| G-B | MH-R | PUD/DA |
| GR-2 | N-B | UC-MX |
| GR-5 | N-MX | |
| HI | N-R | |



1,000 Feet

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Summerville Oakbrook UC-MX Zoning



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- | | | |
|------|------|--------|
| AC | LI | PL |
| D-MX | MF-R | PUD |
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2,500 Feet

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2.4 MIXED-USE DISTRICTS

2.4.1 NEIGHBORHOOD RESIDENTIAL (N-R)

The Neighborhood Residential District is established to accommodate a wide variety of housing types in close walking or biking proximity to Summerville's mixed-use centers. (*R3 & R-5*)



2.4.2 NEIGHBORHOOD MIXED-USE (N-MX)

The purpose of the Neighborhood Mixed-use district is to encourage diverse housing and residentially-scaled professional services, offices, small shops, and restaurants directly adjacent to or in easy walking distance of neighborhoods. (*R3, B1 & some B2*)



2.4.3 DOWNTOWN MIXED-USE (D-MX)

The Downtown Mixed-use district permits a wide range of mixed-use buildings including the full range of housing, retail, offices, and lodging in the downtown area. *(CBD/B3 in the downtown area)*



2.4.4 URBAN CORRIDOR MIXED-USE (UC-MX)

The Urban Corridor Mixed-Use district is intended to permit the retrofit and redevelopment of various suburban corridors throughout the community into walkable areas with a wide range of mixed-use buildings including the full range of housing, retail, offices, and lodging. *(B3 redevelopment areas e.g., Oakbrook)*



2.5 MIXED-USE DISTRICT STANDARDS

DISTRICT	N-R	N-MX	D-MX	UC-MX
<i>Replaces Previous Districts</i>	R-3 / R-5	B-1 / some B-2	CBD/B-3	B-3 (redevelopment areas)
1. DEVELOPMENT				
A. Maximum Density	N/A	N/A	N/A	N/A
B. Required Open Space/Park Space (Note 1)	5%/5%	5%/5%	2% if 5 acres or more	2% if 5 acres or more
C. Perimeter Buffer	None unless adjacent to existing GR-2 & GR-5	None unless adjacent to existing GR-2 & GR-5	None unless adjacent to existing GR-2 & GR-5	None unless adjacent to existing GR-2 & GR-5
2. LOT CONFIGURATION				
A. Lot Size	N/A	N/A	N/A	N/A
B. Maximum Lot Coverage (Note 2)	65% of lot area	80% of lot area	100%	100%
C. Frontage Buildout	N/A	60% min	75% min	N/A
3. PRIMARY BUILDING PLACEMENT (NOTE 3)				
A. Front Setback	0 ft min	0 ft min	0 ft min	0 ft min
	20 ft max	15 ft max	5 ft max	5 ft max
B. Side Setback - Corner	0 ft min	0 ft min	0 ft min	0 ft min
	No max	10 ft max	15 ft max	15 ft max
C. Side Setback - Interior	0 feet or 10 ft min between detached buildings	0 feet or 10 ft min between detached buildings	5 ft max	5 ft max
D. Rear Setback (Note 4)	20 ft min	5 ft min	5 ft min	5 ft min
E. Rear Setback from Alley (Note 5)	3 ft	0 ft	5 ft	5 ft
F. Attached Garage Setback (from front facade) (Note 4 & 6)	5 ft min behind primary façade (detached homes only - not permitted otherwise)	Attached garages along frontage are prohibited	Attached garages along frontage are prohibited	Attached garages along frontage are prohibited
4. ACCESSORY BUILDING PLACEMENT (NOTE 4)				
A. Side Setback - Corner	5 ft min	3 ft min	2 ft min	2 ft min
B. Side Setback - Interior	5 ft min	5 ft min	0 ft min	0 ft min
C. Rear Setback (Note 4)	5 ft min	5 ft min	3 ft min	3 ft min
D. Rear Setback from Alley (Note 4)	3 ft min	3 ft min	3 ft min	3 ft min
E. Detached Garage Door Setback (from front facade) (Note 6)	15 from centerline of the alley	15 from centerline of the alley	Must be located behind primary building and accessed via alley or side street	

Note 1: Also see Open Space Standards in [Chapter 6](#)

Note 2: Lot coverage may also be subject to Stormwater Regulations (See [Chapter 11](#)).

Note 3: Building and fire codes may also apply

Note 4: In addition to the setback requirements listed above, garage doors which face a public right-of-way, except for rear alleys, must be set back a minimum of 20 ft from that right-of-way.

Note 5: Garage doors shall be a minimum of 15 feet from alley centerline. Setbacks may be increased to accommodate parking outside of the garage.

Note 6: Also see Accessory Uses & Structures in [Section 3.4](#)

Note 7: The height of the accessory building may not exceed the principal structure except where the principal structure is a single story, a two-story accessory structure is permitted located in the rear yard only.

Note 8: Also see Lot Access Standards in [Section 2.3.3.B](#)

DISTRICT	N-R	N-MX	D-MX	UC-MX
<i>Replaces Previous Districts</i>	R-3 / R-5	B-1 / some B-2	CBD/B-3	B-3 (redevelopment areas)

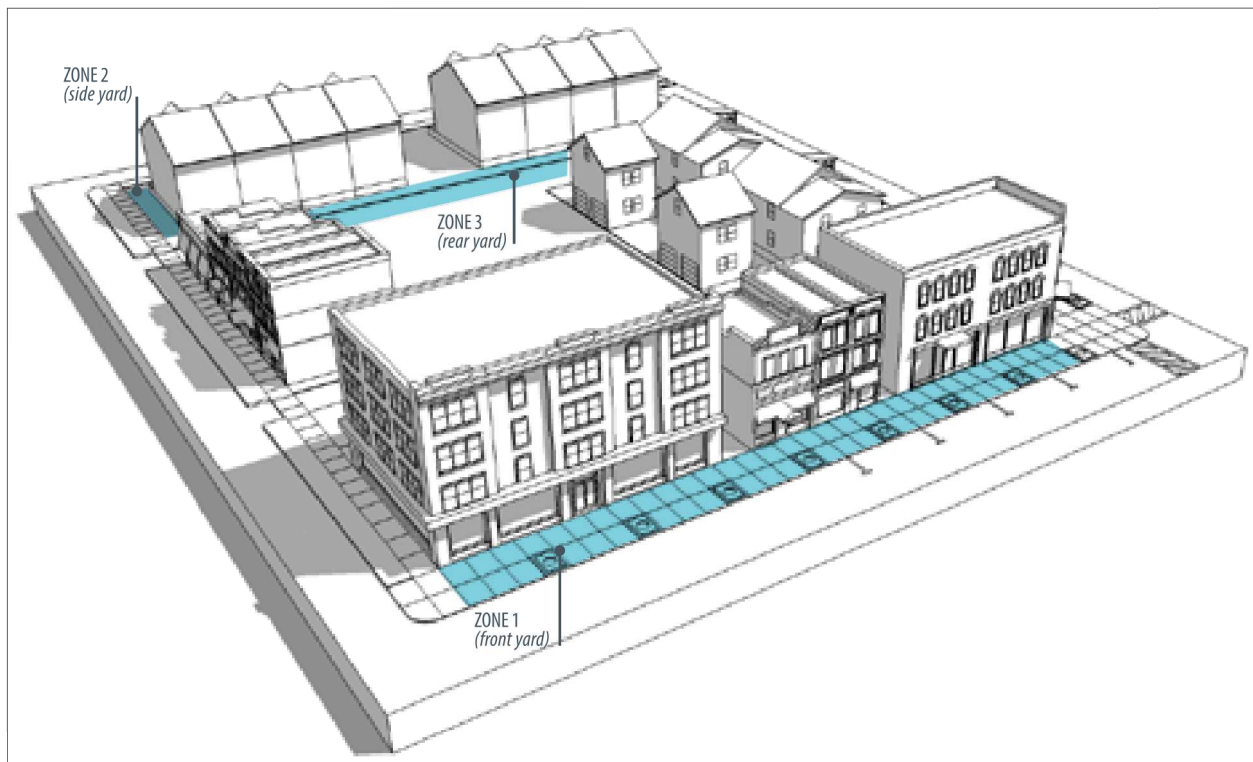
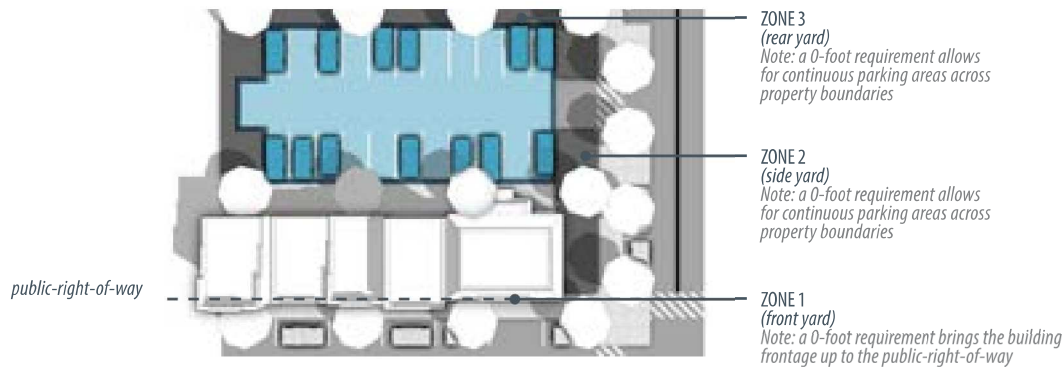
5. BUILDING HEIGHT

A. Primary Building Height	40 feet max	40 feet max	55 feet max	55 feet (may be waived through Design Review if site is north of Hwy 78 and does not front Hwy 78)
B. Accessory Building Height (Note 7)	20 feet max	20 feet max	20 feet	30 feet

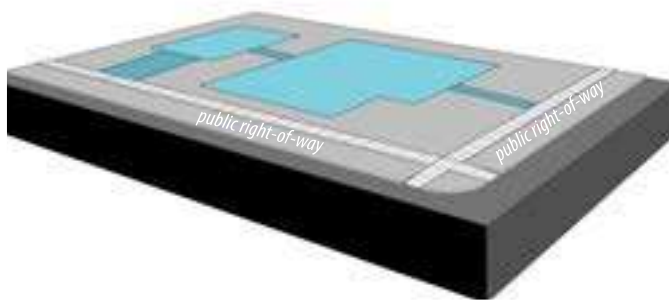
6. PARKING LOCATION (NOTE 8)

A. Zone 1 (Front Yard)	Restricted to detached homes only	N/A	N/A	N/A
B. Zone 2 (Side Yard)	✓	✓	N/A	✓
C. Zone 3 (Rear Yard)	✓	✓	✓	✓
D. Unrestricted	N/A	N/A	N/A	N/A

EXAMPLE: PARKING LOCATION

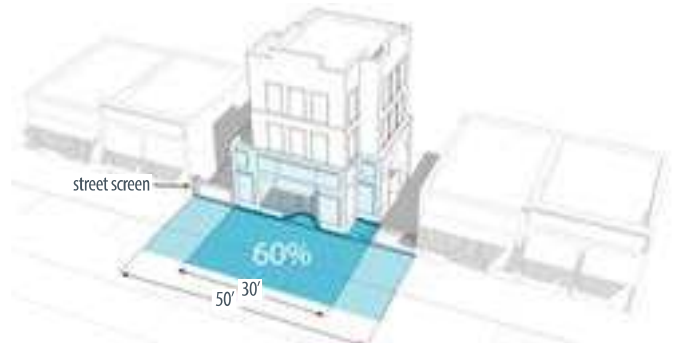


2.B. LOT CONFIGURATION: LOT COVERAGE



- Impervious areas shall include all paved surfaces and building areas under roof within the private lot

2.C. FRONTAGE BUILDOUT

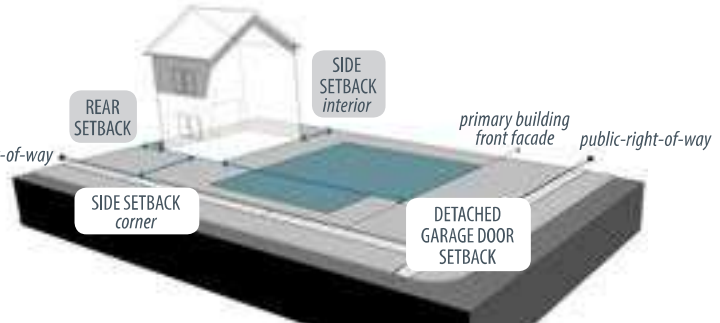


- Frontage Buildout is the percentage of the lot width where the front elevation of the building is located between the minimum and maximum front setbacks established for the district.
- Driveways and pedestrian use areas (such as walkways, plazas and sidewalk cafes) within the minimum and maximum front setbacks shall be exempt from Frontage Buildout requirement. The width of such areas shall be subtracted from the total lot width for the purposes of calculating Frontage Buildout.

3. PRIMARY BUILDING PLACEMENT



4. ACCESSORY BUILDING PLACEMENT



5. BUILDING HEIGHT



4

4 SITE & BUILDING DESIGN GUIDELINES

4.1 PURPOSE AND APPLICABILITY

4.1.1 PURPOSE

With respect to Summerville's location in the South Carolina Lowcountry, architectural details and development shall incorporate this character as much as possible into buildings that meet today's economic and functional requirements. Window and door openings, glazing, details and finishes, colors, roof profiles, accessory features, landscape treatment, and as much as possible, those building materials that reflect the Summerviller character and have been used in Summerville, are some examples of building design that should reflect this architectural tradition.

These practices, as well as the appropriate use of technology to promote high standards of energy and resource conservation, are strongly encouraged. New projects and renovations to existing buildings will be reviewed for their ability to harmoniously blend into their surroundings.

The guidelines and standards in this chapter are not meant to stifle innovative design or creativity. Instead, they are intended to serve as the minimum standards and guidelines necessary to ensure that development meets the purposes described above and set reasonable expectations for compliance. Therefore, their purpose is to:

- A. Welcome development that is pedestrian in scale and encourages walkable streets; and
- B. Provide standards and guidelines that achieve and promote a consistently high level of architectural design; and
- C. Protect and enhance Summerville's unique aesthetic character.



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4.1.2 APPLICABILITY

The guidelines and standards in this chapter apply to all buildings and sites with the exceptions noted herein, and help the Town Staff and/or the Design Review Board (DRB) as appropriate, evaluate applications. These standards are not applicable to structures in a designated Historic District subject to the jurisdiction of the Board of Architectural Review (BAR). This chapter establishes both broad design guidelines and detailed administrative standards. Design guidelines are typically signified by statements with variants of the words “should”, “encouraged”, and “discouraged” and are utilized by the DRB in evaluating applications under their purview. Design standards are typically signified by statements with variants of the words “shall” and “must” and are considered mandatory minimum standards unless specifically modified by Board action. The following are exempt from these standards: single family homes on lots platted prior to the adoption of this ordinance.

4.1.3 CONTEXT REFERENCE GUIDE

The guidelines found in this chapter are intended to be context sensitive based on general building types. The following contexts will be addressed:

- Residential (GR-2, GR-5, MF-R, MH-R, N-R)
- Mixed Use (N-MX, D-MX, UC-MX)
- Suburban Commercial (N-B, G-B)
- Industrial (L-I, H-I)
- Civic/Institutional (All Districts)

4.1.4 MODIFICATION OF GUIDELINES

Applicants may request modifications to the minimum design guidelines herein to permit design solutions that are otherwise compatible with surrounding development and the intent of this ordinance, but which, because of unique design considerations, are not able to achieve strict compliance with the guidelines of this chapter. Such applications shall be subject to the applicable Design Review process found in [Sections 13.3.5](#) and [13.8.3](#). This option shall not be used to grant a variance or waiver of any requirement in other chapter of this ordinance.

4.2 DESIGN GUIDELINES

4.2.1 CORE PRINCIPLES

- A. There are two principal components of every pedestrian trip – the journey and the destination. The journey should be unobstructed and safe and the destination should be interesting and attractive.
- B. Ground floor activity is critical to pedestrian comfort and activity. Long expanses of inactivity are strongly discouraged.
- C. Great towns are built at a pedestrian scale. Avoid large scale buildings along the street frontages where possible.
- D. Buildings should be designed to grow and adapt over time. The accommodation of mixed-uses, whether at the time of initial occupancy or over the long-term, is strongly preferred to single-use structures.
- E. To compliment the historic fabric of the downtown area, new buildings, substantial renovations, and expansions should be of the highest design quality and should be considered long-term additions to the downtown fabric.
- F. Buildings should incorporate architecture and scale that is appropriate to its context and location.
- G. Facades should be designed to reflect the interior arrangement in an authentic manner. Excessive vertical or horizontal variations should be avoided in favor of more simplified authentic facade arrangements.
- H. Visual diversity should be greatest along the street frontage. Avoid uniformity of tenant spaces along the ground floor and provide an increment of small-scale tenant spaces for frequent changes of scenery and activity.
- I. Considerations for energy efficiency and environmental stewardship should inform every site and building design but not at the expense of good urban form. For example, passive solar orientation is encouraged so long as it does not cause buildings to form awkward spaces along pedestrian-oriented streets. Further, avoid stormwater facilities between the building and the sidewalk if at all possible.

4.2.2 BUILDING PLACEMENT AND SITE DESIGN

- A. Generally: Buildings shall be sited so that they support a walkable public realm and are generally aligned and compatible with one another. In general, parking should be placed to the side or rear of buildings.
- B. Conceal Larger Volume Space Behind Smaller Scale Spaces: Large-scale, single-use buildings (such as parking garages, conference facilities, theaters, athletic facilities, superstores, etc.) should be located behind or above habitable street front space. This shall not apply to industrial development (L-I, H-I districts).
- C. Development Plans with Multiple Principal Buildings: In order to encourage pedestrian activity, principal buildings shall be grouped together or attached along the primary fronting street, or along an internal network of interconnecting streets.
 - 1. Perimeter buildings and outparcel buildings shall be configured and located to define street edges, development entry points, and spaces for gathering between buildings.
 - 2. Perimeter buildings and outparcel buildings shall be oriented so that the primary facade faces a public street. Buildings interior to the site may face private parking areas and/or accessways.
 - 3. Buildings shall be located to break up the site into a series of smaller blocks defined by streets and pedestrian walkways, and to frame and enclose parking areas, outdoor dining areas, and/or gathering spaces for pedestrians between buildings.

CORNER BUILDINGS [4.2.2.D.3]



Buildings on corner locations should use important architectural treatments and distinctive roof forms to draw importance to the prominence of the location.

STREET VISTAS [4.2.2.D.4]



Important street vistas should terminate in a focal point such as a civic/institutional building or other architectural or natural feature.

D. Building Location and Orientation

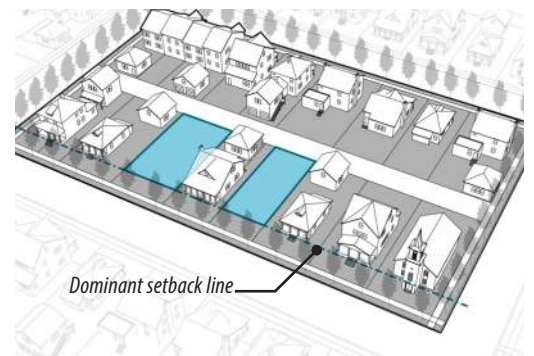
1. Development should incorporate the predominant characteristics of the neighborhood, including block structured lotting patterns, vegetation and topography.
2. Buildings should not significantly overshadow private open spaces or the common/public area windows of adjacent buildings.
3. Buildings located on street corner lots shall be sited and configured to define the corner through the use of one or more of the following:
 - a. Locating the building as close to the right-of-way as possible (in accordance with the minimum setback);
 - b. Eliminating surface parking between the building and the street;
 - c. Providing a public gathering space adjacent to the corner;
 - d. Utilizing distinctive roof forms or pedestrian features such as porches, canopies, or arcades.
4. Important street vistas should terminate in a focal point, such as a Civic/Institutional building or other architectural or natural feature.

4.2.3 INFILL COMPATIBILITY

As a means to provide guidance for the design of buildings that integrate well into the context of Summerville, this section identifies the following key features necessary to ensure compatibility:

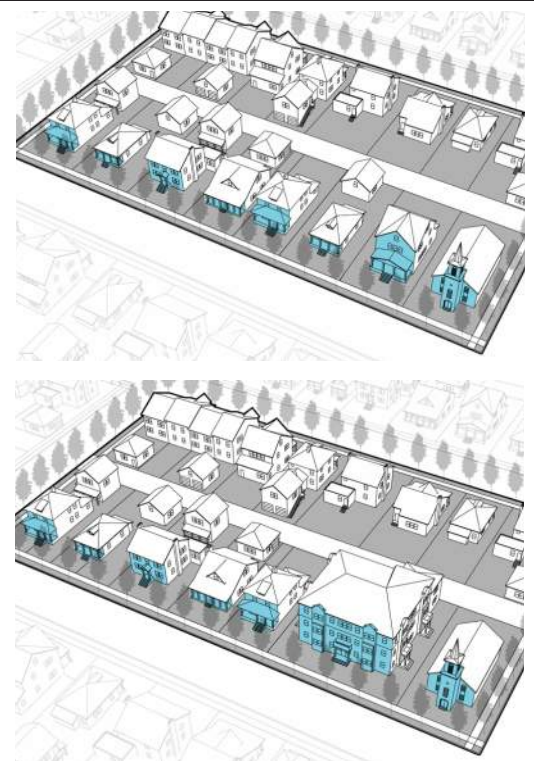
- A. **Front Setback Patterns:** Established building setback patterns should be continued as practical. Deep front setbacks can compromise the ability to provide backyard space and/or rear parking, particularly at higher densities. Interruptions to street frontage character should be avoided by preserving existing front yard landscaping and street trees and minimizing the amount of frontage devoted to paved vehicle areas.
- B. **Rhythm Of Development Along The Street:** Established building rhythms along street frontages should be continued. Monolithic massing that disrupts fine-grain neighborhood and corridor pattern should be avoided. Large-scale buildings should reduce their impact on the street by utilizing interior block space for the majority of the building area, while addressing the street with liner buildings, or other treatments, that continue the established building frontage width and rhythm of development on the street.
- C. **Facade Orientation:** Windows, main entrances, and other primary building façade elements should be oriented toward the street. Courtyard buildings can contribute to the primary frontage by orienting main entrances toward courtyards that serve as a semi-public extension of the public realm. Structures shall be oriented so that to the extent feasible, loading areas are not visible from residential districts or from public rights-of-way. Loading areas may be oriented toward adjoining developed properties which are zoned for nonresidential uses if such loading areas are screened from view.
- D. **Architectural Features:** The design of buildings should be consistent with prevalent architectural features of the surrounding neighborhood, especially in areas where patterns established by recurring architectural features are well-documented and valued. Avoid mimicry of existing buildings so that opportunities for the evolution of architectural style are not stifled.
- E. **Differing Housing Types to be Compatible:** Housing types should be integrated in terms of scale, proportion, form, architectural detailing and material usage. It is acceptable for new residential structures to be larger than older ones, but not so much larger as to threaten neighborhood character.

INFILL: FRONT SETBACK PATTERNS [4.2.3.A]



Infill development should be built to the dominant setback on the same block in order to reinforce a common development pattern and the character of the district.

INFILL: RHYTHM OF DEVELOPMENT [4.2.3.B]



(Top) Ideal rhythm of development, each building having a common scale, width and setback. (Bottom) A large scale building is out of place on a block with smaller buildings creating a poor rhythm of development.

CORNICE HEIGHTS [4.2.4.B]



Cornices and first floor elevations are consistent in the facades on buildings on the same block.

4.2.4 SCALE

- A. The scale of buildings and accessory structures (including canopies) should be appropriate to the scale of structures located in the surrounding area.
- B. Cornice or eave height should be consistent with the dominant cornice or eave height of buildings on the same block.
- C. The elevation of the first floor and floor-to-floor heights shall be consistent with the expression of floors in the facades on the same block.
- D. The facade of a proposed building should draw upon the proportion and number of bays, in surrounding buildings as defined by windows, doors and column spacing, to establish a compatible scale.
- E. Lower floors should be differentiated architecturally from the rest of the building to create a sense of human scale.

CORNER BUILDINGS (4.2.5.D)



Corner buildings should utilize additional detailing to emphasize their location.

4.2.5 MASSING AND ARTICULATION

- A. When large scale construction is proposed which is not consistent with the predominant building height and lot width of the surrounding area, special attention shall be paid to the siting, setbacks, and facade treatments utilized in such construction in order to articulate a building form that is appropriate to the neighborhood context.
- B. Long, unarticulated or blank facades, including but not limited to those characterized by unrelieved repetition of shape or form, are discouraged on any facade or portion of a facade visible or expected to be visible from a public or private street or from primary vehicular access points or parking areas. For larger scale developments, the building façade shall create repetitive bays, or the façades shall be divided into an asymmetrical, yet balanced, composition.
- C. New construction should complement the massing of neighboring buildings by utilizing roof forms, architectural trim, differentiation of facade planes, and a relationship of solids (siding and walls) to voids (window and door openings) that are consistent with the patterns established in neighboring buildings.
- D. Buildings on corners or axial terminus should be designed with additional height and architectural embellishments to emphasize their location.
- E. The use of pitched roofs and roof overhangs that are consistent with neighboring buildings is encouraged.
- F. In general, building design should emphasize vertical proportions in window openings, bay dimensions, and other similar details.

VERTICAL PROPORTIONS (4.2.5.F)



In general, building design should emphasize vertical proportions in window openings, bay dimensions, and other similar details.

4.2.6 BUILDING LOCATION AND ORIENTATION

Building facades should be parallel to the frontage line as determined by Town Staff

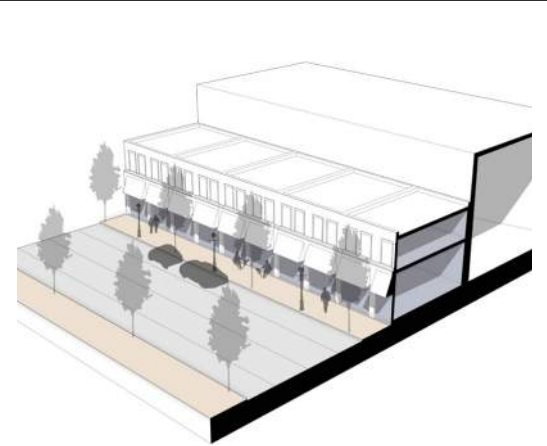
4.2.7 FACADE ARRANGEMENT

All elevations of principal buildings (over 20 feet in height) visible from a public street or park should demonstrate articulation by being organized into three major components which mimic the human body: the base, body, and cap. The feet provide stability, the torso provides height and bulk, and the head provides identity. The base is that portion at ground level, where the building makes contact with the earth. The body is the upper architecture, forming the majority of the structure. The cap is the parapet, entablature or roofline, where the building meets the sky. While they may be present in varying proportions and achieved using a wide variety of techniques, such as changes in color, material, pattern, profile, or texture, these components should be clearly identifiable.

4.2.8 GROUND FLOOR ELEMENTS

- A. Defined Entries: Entrances should be differentiated architecturally to create a sense of human scale.
- B. Architectural elements like openings, sills, bulkheads, columns, and other architectural features should be used to establish human scale at the street level.
- C. All commercial and mixed-use buildings should accommodate active street level uses on all pedestrian-oriented frontages.
- D. Large buildings fronting multiple streets should provide multiple entrances.
- E. In mixed-use districts large-footprint buildings shall front the buildings to the sidewalks, providing windows and doors at frequent intervals.

LARGE BUILDING FRONTAGES [4.2.8.E]



Large buildings should provide storefronts along street frontages as if they were smaller tenants.

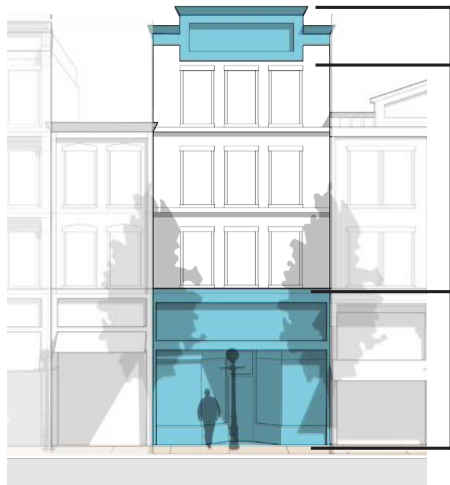
EXAMPLE: BUILDING BASE, BODY & CAP [4.2.7]



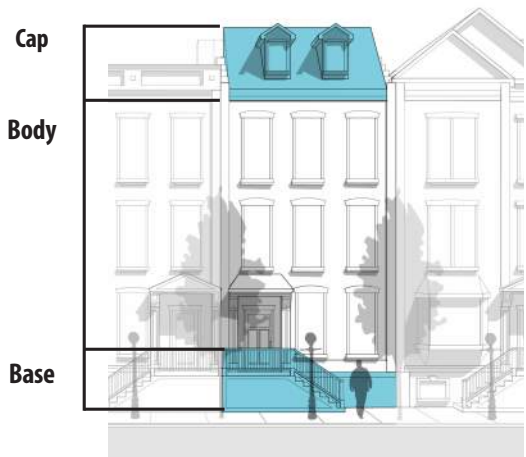
Summerville Example: Commercial/Mixed-Use Buildings
Source: Google Street View



Summerville Example: Residential Buildings
Source: Google Street View



Commercial/Mixed-Use Buildings



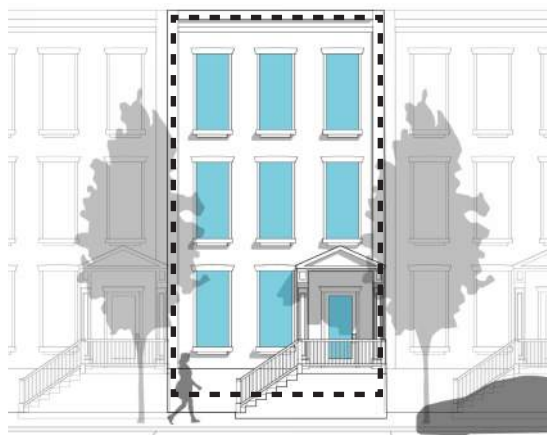
Residential Buildings



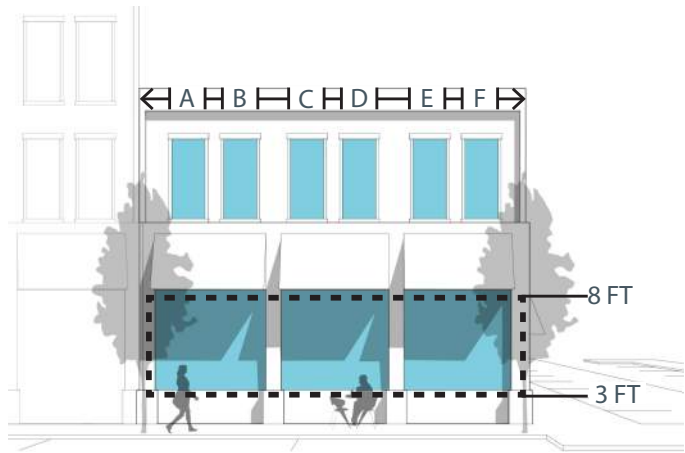
4.2.9 FACADE TRANSPARENCY

- A. The table below establishes minimum requirements for facade transparency by building type. The requirements apply only to facades which face a public street or park.

		F. MINIMUM FACADE TRANSPARENCY		
		Ground Floor Facade*	Upper Floor Facades**	Total Facade Area
Building Types				
Residential Buildings	Detached House in G-R	-	-	10%
	Detached House in N-R	-	-	20%
	All other Housing	-	-	10%
Mixed-Use & Commercial Buildings	Suburban Commercial (N-B, G-B)	50%	30%	-
	Mixed-Use (N-MX, D-MX, UC-MX)	65%	30%	-
	Industrial	-	-	20%
	Civic/Institutional	Subject to Design Review		
		*Minimum percentage applies to the area of the facade between 3 feet and 8 feet above the finished first floor. **Minimum percentage applies to the lineal footage of the facade with some type of window or fixed glass.		



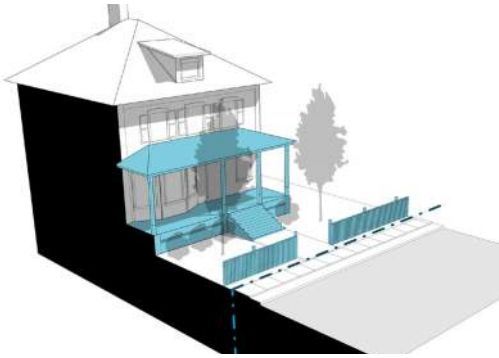
Residential Facade Transparency
 (Transparent facade area / total facade area) \geq min. % from table



Mixed-Use & Commercial Facade Transparency
 Ground Floor: Transparent facade % between 3 ft and 8 ft above finished floor \geq min. % from table
 Upper Floors: $[(A+B+C+D+E+F) / \text{total facade width}] \geq$ min. % from table

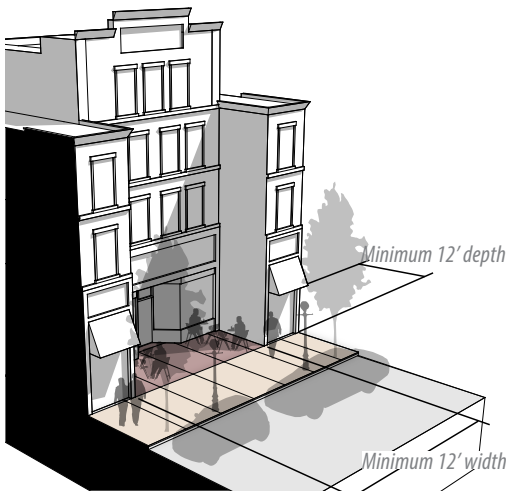
- B. All windows and glazing used to meet the minimum requirements must allow views from habitable areas within the building to the street or property line, except where obstructed by the display of merchandise for retail uses.
- C. Windows or fixed glass areas in doorways may be used to satisfy the minimum requirements except in doorways designed for egress only.
- D. To comply with this standard, the passerby should be able to discern finished, occupiable space inside the building. Nothing herein shall be construed to prevent the installation of blinds or other shading devices post construction.
- E. Glass block, reflective or highly tinted glass, faux windows/spandrels, or casement display windows cannot be used to satisfy the minimum requirements.

PORCHES AND STOOPS [4.2.10.A]



Single-family home with porch. Minimum 6 ft depth

FORECOURT [4.2.10.B]



COLONNADE/ARCADE [4.2.10.C]



4.2.10 FRONTAGE ENCROACHMENTS

- A. Porches and Stoops: Porches and stoops may be constructed in front of the minimum required setback, but should not extend into the right-of-way.
 1. Minimum Height above Grade: Residential porches and stoops shall be elevated a minimum of 18 inches above the average adjacent sidewalk grade, or 2 feet above the adjacent street grade where no sidewalk is present.
 2. Minimum Porch Dimensions: Porches shall have a minimum depth of 6 feet and a minimum width of 25% of the primary facade. If porches are screened, all architectural expression (columns, railings, pickets, etc.) must occur on the outside of the screen.
 3. Minimum Stoop Dimensions: Stoops shall have a minimum depth and width of 5 feet. Stoops may be shared by two attached units. Stoop stairs may run to the front or to the side. Entry doors from stoops shall be covered or recessed to provide shelter from the elements.
- B. Forecourts: Forecourts may be used in residential buildings to provide entry yards and/or shared garden space. Forecourts may be used in commercial and mixed-use buildings to provide areas for outdoor dining, display of merchandise, and/or entries to individual tenants. Where provided, forecourts should be a minimum of 12 feet in depth and 12 feet in width.
- C. Colonnades/Arcades: Where provided, colonnades/arcades may encroach over the public sidewalk, but must maintain a minimum horizontal sidewalk clearance of 8 feet for pedestrian circulation. A minimum of 18 inches of horizontal clearance must be provided from the outside of all columns to the face of the curb. A minimum of 10 feet of vertical clearance must be maintained from the sidewalk grade. No more than 1 story of habitable space may be permitted over the colonnade/arcade.
- D. Balconies: Where provided, balconies may encroach over the public sidewalk, but must project a minimum of 3 feet from the building facade. A minimum of 10 feet of vertical clearance must be maintained from the sidewalk grade. Balconies may have roofs, but cannot be screened or glassed-in.
- E. Awnings and Marquees: Where provided, marquees and awnings may encroach over the public sidewalk, but must project a minimum of 3 feet from the building facade. A minimum of 8 feet of vertical clearance must be maintained from the sidewalk grade. Awnings should be made of fabric and metal only.

- F. If any portion of the building extends into the right-of-way, an encroachment permit will be needed from the Town Engineering office (see Town Code, Chapter 30, Article III)

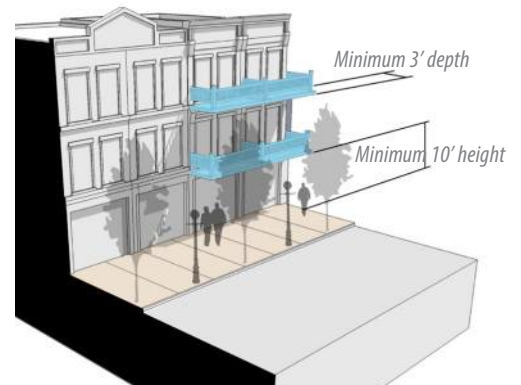
4.2.11 COLUMNS, PIERS, AND ARCHES

- A. Placement and Dimensions: Columns and piers should be spaced no farther apart than they are tall. Column bays should be of equal and precise proportions. Columns may be round or square.
- B. Quality Materials
 1. Columns may be constructed of wood structure with finished wood or Hardie-plank cladding, cast iron, concrete with smooth stucco finish, brick, or perma-cast or similar synthetic materials upon approval by DRB.
 2. Arches may be constructed of brick, cast stone, concrete masonry units with stucco (C.B.S.), reinforced concrete with stucco, or wood/timber.
 3. Piers may be constructed of cast stone, concrete masonry units with stucco (C.B.S.), reinforced concrete with stucco, concrete with smooth finish, or brick or other material as approved by DRB.

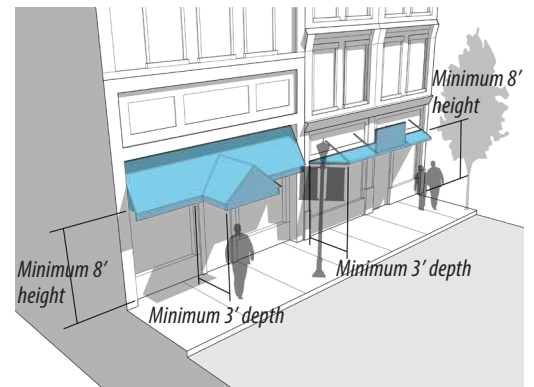
4.2.12 LOADING/SERVICE AREAS, MECHANICAL EQUIPMENT AND UTILITIES:

- A. Loading facilities, loading docks, service doors, and other service areas, shall be located and/or screened so as not to be visible from a public street or park.
- B. Utilities: Project elements like mechanical equipment (except small items such as fans and vents), utility meters, storage areas, solid waste containers (including dumpsters, compactors, recycling containers, and solid waste and recycling handling areas), transformers, generators, HVAC units and similar features, or other utility hardware on the building, roof, or ground shall be screened from public view with materials similar to the structure; OR they should be so located as not to be visible from any public street or from adjacent buildings. No wall-mounted building utility service equipment (e.g., electrical house panel boxes) shall be placed on the public street right-of-way side of the building. Town Staff may waive this requirement for photovoltaic panels where such panels must be located within view of a public street or adjacent building in order to maximize solar exposure.

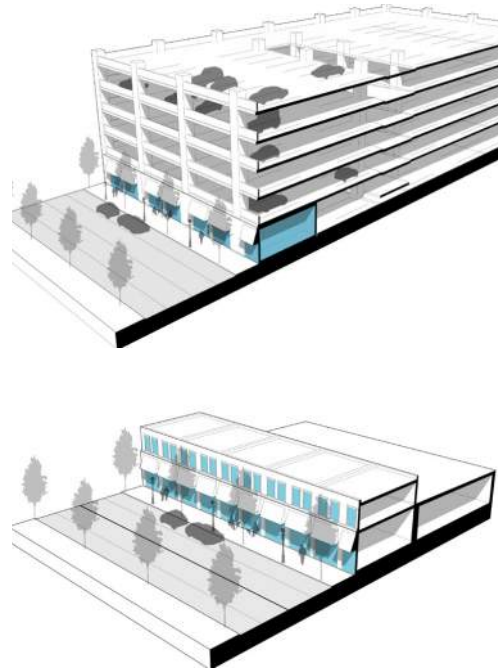
BALCONY [4.2.10.D]



AWNINGS & MARQUEES [4.2.10.E]



WRAPPING PARKING STRUCTURES [4.2.14]



(Top) *Parking Garage Retail Screen:* A ground floor retail liner in a parking garage creates an appropriate streetscape environment by screening the parking areas behind. (Bottom) *Big-Box with Liner Building:* A two-story retail/office liner building provides an appropriate screen for a large-scale single-use building (such as a conference center, theatre, athletic facility or superstore).

4.2.13 MATERIALS AND COLORS

- A. Quality material and facade detailing shall extend to all facades which are visible or are expected to be visible from a public or private street and other public spaces, and/or from primary vehicular access points or parking areas.
- B. Different materials on different exterior elevations are allowed on the same structure so long as those materials maintain the architectural unity and integrity of the entire structure (i.e., there may be brick and wood on the same building).
- C. Generally, no more than four colors complementary to each other will be allowed on the building.
- D. The primary finish materials for new construction should be compatible with neighboring buildings in terms of color, texture, tooling, craftsmanship, size, shape, and the applicability of the material to the function it performs. Materials shall express their function clearly and shall not appear as materials which are foreign to the character of the building.
- E. Piecemeal embellishment and frequent changes in material and color shall be avoided.
- F. Multiple materials on the same roof line are generally discouraged.
- G. The following siding materials are not typically compatible with the traditional vernacular of Summerville and are discouraged except in areas zoned Limited Industrial and Heavy Industrial: sheet plywood, concrete block (CMU), unfinished poured concrete block, and plastic or metal not closely resembling painted wood clapboard. The Design Review Board may permit the use of these materials after considering the location and proposed use of the structure.

4.2.14 PARKING STRUCTURES/GARAGES

- A. Parking structures shall not front on pedestrian-oriented streets or terminate a longer vista. Such structures shall be lined or wrapped by human-scaled development.

4.3 RESIDENTIAL BUILDING DESIGN GUIDELINES

4.3.1 APPLICABILITY

Exclusively Residential Structures consisting of 5 or more units or lots in All Districts

4.3.2 MINIMUM DESIGN GUIDELINES - APPLICABLE TO ALL RESIDENTIAL STRUCTURES

A. Detailed Design Recommended: All buildings other than garages should be designed to include varied relief to provide interest and variety. The following is a partial list of features that may be used to accomplish this objective:

- Bow window,
- Bay window,
- Arched window,
- Gable window,
- Oval or round windows,
- Shutters,
- Arched entry, balcony or breezeway entrance,
- Cast stone or brick accent wall,
- Decorative brick band,
- Decorative tile,
- Veranda, terrace, porch or balcony,
- Projected wall or dormer,
- Variation of roof lines on the building, and
- Decorative caps on chimneys.

B. Wall Materials

1. Building walls should be finished in one or more, but not more than four of the following materials: concrete masonry units with stucco (C.B.S.), reinforced concrete with stucco, fiber cement board such as “Hardie-Plank” siding, 50-year siding product, wood, termite resistant, 50-year siding product: painted or natural, brick, stone, stucco, and other materials as approved by Town Staff.
2. Visible foundation walls should be finished in one of the following materials: Brick, Stone, or Stucco.
3. Chimneys: Chimneys should be finished with approved building wall materials.
4. Downspouts and Gutters: Downspouts and gutters are to be galvanized steel, aluminum, non-glossed stainless steel or copper. Downspouts and gutters are to match in materials and finish.
5. Day-glo, luminescent, iridescent, neon or similar types of color finishes are prohibited.
6. Mirrored glass with a reflectivity of 20% or more and spandrel is prohibited.

C. Windows:

1. Windows should not be flush with exterior wall treatments. Windows should be provided with an architectural surround at the jambs, header and sill.
2. In general, clear glazing is preferred, but the DRB may allow alternative glazing types depending on the context.
3. Except for round windows, picture windows, accent windows, and transoms, windows and door openings should be taller than they are wide.
4. Exterior Shutters: Shutters, if used, must be sized and placed so as to equal the width that would be required to cover the window opening.

CLEAR BUILDING ENTRANCES [4.3.3.A & 4.4.4.A]



Buildings must have a useable entrance on the primary frontage. In most cases the primary frontage will be a public street, but in some cases the primary frontage may be an alley or a pedestrian pathway from the side or rear. Town Staff shall determine the primary frontage for each lot.

FACADE VARIETY [4.3.3.B]



Buildings must be designed to provide varied relief. The homes pictured above meet this standard through the use of porches, balconies, shutters, projected dormers, variation in roof lines, and decorative caps on chimneys.

D. Roofs

1. Flat and mono-pitch roofs (sloped to the rear) should be concealed with parapets along the street frontage.
2. Where flat roofs are provided, mechanical equipment shall be screened from view from the street.
3. Skylights must be flat to the pitch of the roof and should not be located on any sloped roof facing the primary frontage.
4. Roof penetrations shall be hidden or painted to match the color of the roof.

E. Garages and Accessory Structures: Attached garages, detached garages and other accessory structures, shall be subordinate in height, footprint, and proportion to the primary structure on the site, and shall be compatible with the principal structure in terms of roof form, materials, and color.

4.3.3 MINIMUM DESIGN GUIDELINES - DETACHED SINGLE FAMILY HOMES ONLY

A. Entrances

1. Building Entrances to Face Street or Public Open Space: All residential buildings should face the street or designated public space (e.g., common courtyard, plaza, or green) and have a pedestrian pathway connecting the principal entry to the street. All buildings with shared entrances should be oriented so that the primary entrance(s) faces the street. In some cases (e.g the “Charleston Single” design style) the primary entrance may access a porch or pathway which then provides access into the structure.
2. Raised Entry Required: The finished ground floor elevation for units within 18 feet of a sidewalk shall be 18 inches above the average adjacent sidewalk grade, or 2 feet above the adjacent street grade where no sidewalk is present.
3. Zero-Step Entry: For residential buildings in developments designed for residents aged 55 and older, at least one zero-step entry should be provided from the fronting sidewalk or pedestrian pathway from the side or rear to the interior of the house. Each unit should have a separate outdoor entrance that includes a porch, stoop, courtyard or similar element which provides a transition from the public sidewalk to the private space within the building or unit.

B. Facade Variety: Detached Homes with identical facade designs shall not be permitted on adjacent or facing lots. Where home designs are repeated in new development, materials and detailing shall be varied to distinguish different houses.

- C. Garages: All garages facing a public street shall be visually recessed from the principal structure. See also [Sections 2.5](#) and [2.7](#).

4.3.4 MINIMUM DESIGN GUIDELINES - TOWNHOMES, APARTMENTS, AND OTHER MULTI-FAMILY BUILDINGS

A. Entrances

1. Building Entrances to Face Street or Public Open Space: All residential buildings should face the street or designated public space (e.g., common courtyard, plaza, or green) and have a pedestrian pathway connecting the principal entry to the street. All buildings with shared entrances should be oriented so that the primary entrance(s) faces the street.
 2. Raised Entry Required: The finished ground floor elevation for units within 18 feet of a sidewalk shall be 18 inches above the average adjacent sidewalk grade, or 2 feet above the adjacent street grade where no sidewalk is present.
 3. Zero-Step Entry: For residential buildings in developments designed for residents aged 55 and older, at least one zero-step entry should be provided from the fronting sidewalk or pedestrian pathway from the side or rear to the interior of the house. Each unit should have a separate outdoor entrance that includes a porch, stoop, courtyard or similar element which provides a transition from the public sidewalk to the private space within the building or unit.
 4. Secondary Entries Permitted: Individual units and tenant spaces on the ground floor may have separate entrances to the public sidewalk, but units on upper floors must be accessed through a common entrance on the ground floor.
 5. Corner Lot/Entry: In the case of corner lots, the primary entrance(s) should face the street from which the building derives its street address.
- B. Facade Transparency: Building elevations that face the street should have at least 20% of the wall area consist of windows and/or doors. Mirrored glass with a reflectivity of 20% or more is prohibited.
- C. Cornice and Expression Lines: Cornices and other similar elements are required to delineate the tops of facades. Expression lines are required to delineate the divisions between the first floor and upper floors.

CORNICE AND EXPRESSION LINES [4.3.4.C]



Cornices and expression lines articulate the building facade and break up the massing of larger buildings. A variety of cornices (blue) are used to provide interest and detail to this facade.

ENTRANCES [4.4.2.B.1]



Buildings shall provide clear entrances directly to the sidewalk or other public space.

MINIMIZE BLANK WALLS [4.4.2.C.1]



Ground level detailing should comprise primarily of storefronts and minimize blank walls.

4.4 MIXED-USE BUILDING DESIGN GUIDELINES

4.4.1 APPLICABLE DISTRICTS: N-MX, D-MX, UC-MX

4.4.2 MINIMUM DESIGN GUIDELINES

- A. Ground Floor Height: The minimum height of a single story building should be 20 feet from finished grade to the bottom of the parapet or to the eave line for a pitched roof. (Applicable to D-MX and UC-MX only)
- B. Entrances:
 1. Primary Entrances: Buildings should be oriented so that the primary entrance is facing the primary fronting street or public space, as determined by Town Staff. Individual units and tenant spaces on the ground floor should have separate entrances to the public sidewalk. Major building entrances that provide access to the primary use of the building should be distinguished from the entrances used for secondary uses, such as ground floor retail.
 2. Entrances to Face Street: All buildings with shared entrances should be oriented so that the primary entrance(s) faces the street.
 3. Entry Interval: Doors or entrances with public access should be provided at intervals no greater than 50 feet.
 4. Corner Lot Buildings: In the case of corner lots, the primary entrance(s) should face the street from which the building derives its street address.
 5. Secondary Entrances: Secondary access may be provided from parking areas located to the rear or side of a building. Large single tenant buildings or building with only common lobby access to building tenants that have more than 200 feet fronting a secondary street should provide an additional common entrance along that frontage as well.
- C. Ground Level Detailing
 1. Minimize Blank Walls: Expanses of blank walls facing streets (excluding rear access drives or alleys) or public civic spaces may not exceed 20 feet in length. (A "blank wall" is a facade that does not contain transparent windows or doors.)

2. Transparency to be Dispersed: Required transparency should not be aggregated into a single undivided area of glazing treatment. Individual glazing areas should not span more than 15 linear feet, and must be separated by at least 1 linear foot of contrasting material.
3. Mechanical equipment: All mechanical equipment shall be completely screened from the ground level of any adjacent property with architectural materials that are consistent with those used on the primary building.
4. Spandrel Glazing Forbidden: The use of spandrel or similar inauthentic glazing treatments is prohibited, unless approved by DRB.
5. Ventilation Grates and Emergency Exit Doors: Ventilation grates or emergency exit doors located at the first floor level in the building facade, which are oriented to any public street, should be decorative. Unless otherwise required by the building code, such grates and doors should be located away from pedestrian spaces (sidewalks and pedestrian paths).

D. Windows

1. Window openings, other than transoms, display windows, and accent windows on upper stories should be taller than they are wide.
2. Windows should not be flush with exterior wall treatments. A header and sill is required for all windows in masonry construction.
3. In general, clear glazing is preferred, but the DRB may allow alternative glazing types depending on the context.
4. Windows in wood construction should have trim around all four sides.
5. Windows are not to be covered with paper, cardboard or other materials, with the exception of approved window signage.

E. Building Walls

1. Wall Materials: Building walls visible from a public street or civic space should be primarily brick, stone masonry units, wood clapboard, cementitious fiber board, exposed heavy timber, or architectural concrete masonry units (CMU). Glass curtain walls may be approved subject to Design Review to ensure the styling and details are appropriate for the context. Exterior insulation finishing systems (EIFS) may be used on facades not facing a public street or civic space or as a secondary building material only (less than 25% of the wall area) on primary frontage facades. Under no circumstances should unfinished concrete block or stacked stone be permitted.
2. Balance of Wall Materials: When 2 or more materials are used on a façade, the heavier material should be placed below the lighter material (e.g., siding over brick) to give the sense of support and grounding.
3. Colors: The use of garish, high-intensity, metallic, fluorescent, day glow, or neon colors is prohibited. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features.

4.5 SUBURBAN COMMERCIAL BUILDING DESIGN GUIDELINES

4.5.1 APPLICABLE DISTRICTS: N-B, G-B

4.5.2 MINIMUM DESIGN GUIDELINES

- A. Ground Floor Height: The minimum height of a single story building should be 20 feet from finished grade to the bottom of the parapet or to the eave line for a pitched roof. (Applicable to G-B only)
- B. Entrances:
 - 1. Primary Entrances: Buildings should be oriented so that the primary entrance is facing the primary fronting street or public space, as determined by Town Staff. Individual units and tenant spaces on the ground floor should have separate entrances to the public sidewalk. Major building entrances that provide access to the primary use of the building should be distinguished from the entrances used for secondary uses, such as ground floor retail.
 - 2. Entrances to Face Street: All buildings with shared entrances should be oriented so that the primary entrance(s) faces the street.
 - 3. Entry Interval: Doors or entrances with public access should be provided at intervals no greater than 100 feet.
 - 4. Corner Lot Buildings: In the case of corner lots, the primary entrance(s) should face the street from which the building derives its street address.
 - 5. Secondary Entrances: Secondary access may be provided from parking areas located to the rear or side of a building. Large single tenant buildings or building with only common lobby access to building tenants that have more than 200 feet fronting a secondary street should provide an additional common entrance along that frontage as well.
- C. Ground Level Detailing
 - 1. Minimize Blank Walls: Expanses of blank walls facing streets (excluding rear access drives or alleys) or public civic spaces may not exceed 40 feet in length. (A “blank wall” is a facade that does not contain transparent windows or doors.)
 - 2. Transparency to be Dispersed: Required transparency should not be aggregated into a single undivided area of glazing treatment. Individual glazing areas should not span more than 20 linear feet, and must be separated by at least 1 linear foot of contrasting material.
 - 3. Mechanical equipment: All mechanical equipment shall be completely screened from the ground level of any adjacent property with architectural materials that are consistent with those used on the primary building.
 - 4. Spandrel Glazing Forbidden: The use of spandrel or similar inauthentic glazing treatments on the ground floor is prohibited, unless approved by DRB.
 - 5. Ventilation Grates and Emergency Exit Doors: Ventilation grates or emergency exit doors located at the first floor level in the building facade, which are oriented to any public street, should be decorative. Unless otherwise required by the building code, such grates and doors should be located away from pedestrian spaces (sidewalks and pedestrian paths).

D. Windows

1. Window openings, other than transoms, display windows, and accent windows on upper stories should be taller than they are wide.
2. Windows should not be flush with exterior wall treatments. A header and sill is required for all windows in masonry construction.
3. In general, clear glazing is preferred, but the DRB may allow alternative glazing types depending on the context.
4. Windows in wood construction should have trim around all four sides.
5. Windows are not to be covered with paper, cardboard or other materials, with the exception of approved window signage.

E. Building Walls

1. Wall Materials: Building walls visible from a public street or civic space should be primarily brick, stone or stone masonry units, wood clapboard, cementitious fiber board, exposed heavy timber, or architectural concrete masonry units (CMU). Glass curtain walls and tilt-up cast concrete may be approved subject to Design Review to ensure the styling and details are appropriate for the context. Exterior insulation finishing systems (EIFS) may be used on facades not facing a public street or civic space or as a secondary building material only (less than 25% of the wall area) on primary frontage facades. Under no circumstances should unfinished concrete block be permitted.
2. Balance of Wall Materials: When 2 or more materials are used on a façade, the heavier material should be placed below the lighter material (e.g., siding over brick) to give the sense of support and grounding.
3. Colors: The use of garish high-intensity, metallic, fluorescent, day glow, or neon colors is prohibited. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features.

SPANDREL AND FAUX WINDOWS FORBIDDEN [4.5.2.C.4]



The use of spandrel or other opaque treatments for window openings along street frontages discourages pedestrian activity and is forbidden.

WALL MATERIALS [4.5.2.E.1]



Building walls facing public streets should be predominately brick with EIFS as a secondary material only.

- F. Additional Standards for Large Footprint Buildings: Buildings with a footprint of 20,000 square feet or greater must abide by the following additional standards:
1. Buildings may be one story but shall be at least 24 feet in height. This may be accomplished with higher ceiling heights, parapets, and/or separate liner buildings.
 2. Large-footprint buildings should front the buildings to the sidewalks, providing windows and doors at frequent intervals.
 3. Building footprints shall not be larger than a single block. Floor area of buildings shall not cantilever over public rights-of-way.

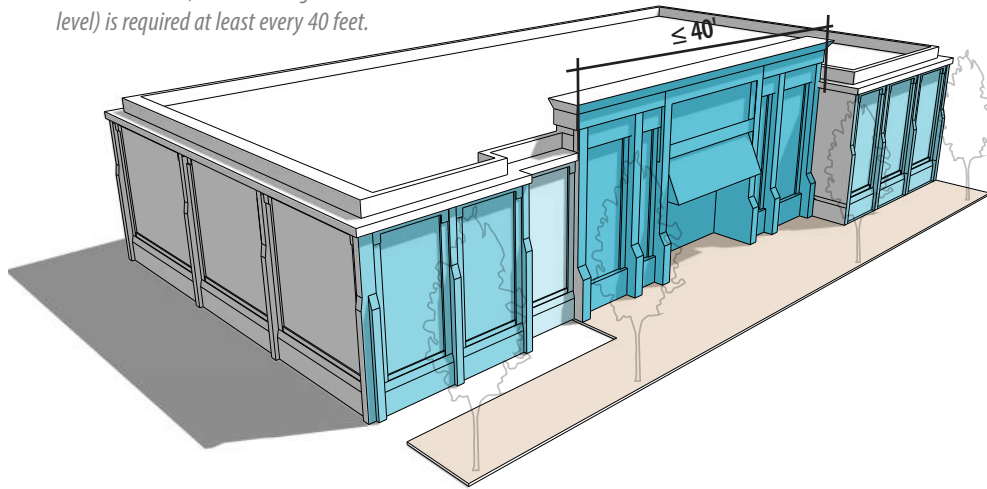
4.5.3 WALL PLANE VARIATION

Facades which are visible from a public street or park, must be divided into architecturally distinct sections of no greater than 40 linear feet through the use of different textures, bays, wall/roof offsets (a minimum of 24 inches in depth) such as projections and recesses, and/or changes in floor level. (Not applicable to residential structures)

Roof line offsets should be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof.

EXAMPLE: WALL PLANE VARIATION [4.5.3]

Some variation in wall plane (either through the use of different textures, bays, wall/roof offsets, and/or changes in floor level) is required at least every 40 feet.



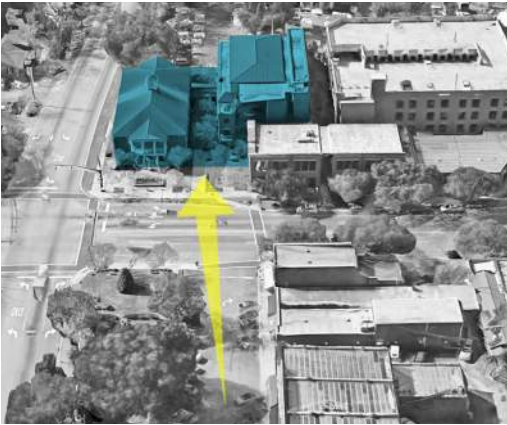
4.6 INDUSTRIAL BUILDING DESIGN GUIDELINES

4.6.1 APPLICABLE DISTRICTS: L-I, H-I

4.6.2 MINIMUM DESIGN GUIDELINES

- A. Entrance: The principal entrance to a building, and any ground floor tenant space entrance should front the primary public street or a side parking area.
- B. Facade Materials and Colors
 - 1. Materials: Industrial building walls should have a decorative front façade that wraps the side elevation at least 20 feet from the front wall. The following materials may be permitted subject to Design Review: brick, stucco, architectural concrete masonry units (CMU), decorative pre-cast concrete, architectural metal cladding or wall systems (including corrugated metal), or EIFS. Vinyl sheeting is prohibited except for use on the side or rear elevations
 - 2. Material Colors: The use of garish high-intensity, metallic, fluorescent, day glow, or neon colors should be prohibited. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features.
- C. Building Addition Exceptions: A new building or addition to an existing building associated with pre-existing industrial or warehouse use may elect, in lieu of the other design regulations in this section, to continue the existing design aesthetic with respect to building height, materials, roof configuration, fenestration, orientation, and setbacks.
- D. Loading Docks and Service Areas: Loading docks, service areas and trash disposal facilities shall be hidden or screened from view of streets, parks, squares, waterways, or significant pedestrian spaces. Screening should utilize the primary materials of the building, wood fencing, or approved vegetation.

CIVIC BUILDING TERMINATING VISTA [4.7.2.A.3]



Civic buildings with primary architectural elements (blue) should be placed .at the terminus of important public vistas.

4.7 CIVIC/INSTITUTIONAL BUILDING DESIGN GUIDELINES

4.7.1 APPLICABILITY

Civic buildings contain uses of special public importance and are therefore subject to Design Review. Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, hospitals, public recreation facilities, and places of assembly but do not include day care facilities, retail buildings, residential buildings, and privately-owned office buildings.

4.7.2 MINIMUM DESIGN GUIDELINES

- A. Placement: In order to provide greater flexibility to create a special architectural statement, civic buildings are not subject to minimum or maximum setback requirements. Instead building placement should conform to the following guidelines.
 1. Placement of civic buildings, depending upon program and site, can often benefit from being set back from the adjacent build-to lines of private development. This allows the scale of the building to have more visual emphasis and can create a public space in the foreground. The amount of this setback should be carefully determined based on the urban design objectives of the particular site.
 2. Principal buildings should be oriented toward the public realm (streets, squares and plazas) in a very deliberate way.
 3. Civic buildings and their primary architectural elements should be placed at the termination of public vistas to provide an appropriate level of visual importance.
 4. Entrances should always be located on the most prominent façade(s). Avoid entrances that are at the rear or are visually concealed.
- B. Massing
 1. The primary massing of civic buildings should generally be symmetrical in form. The appearance of a balanced design increases the level of formality which is appropriate to the public use.
 2. Massing of civic buildings, although often larger as a whole, should be divided into visually distinct sections. Massing divisions should provide visual order to the building and create vertical proportions within individual elements.

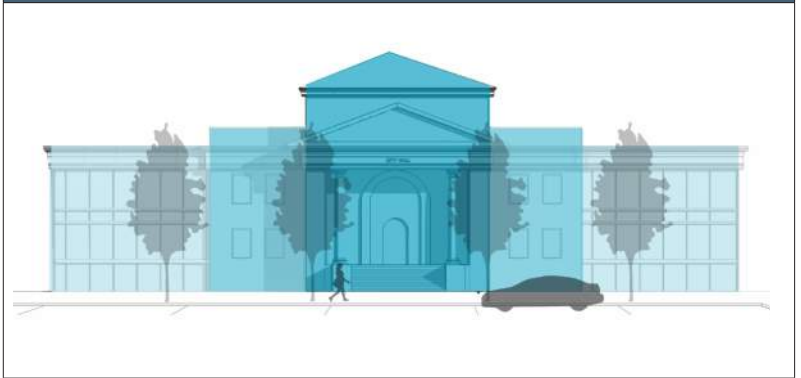
C. Scale/Height

1. In general, the height of civic buildings should be in keeping with surrounding uses. However, to increase their prominence in the community, architectural elements of buildings which exceed the height or are proportionately larger than surrounding buildings should be considered if they meet the following: are complimentary to the primary design concept of the building and lend help to create a visual landmark status for the structure and site.
2. Prominent roof forms and additive elements such as cupolas should be used to visually extend the height of the building.

D. Materials/Details

1. Civic buildings shall evoke a civic presence and be carefully designed to reflect the architectural character of Summerville.
2. Civic buildings shall be made of durable, high-quality materials that create a sense of permanence and lend civic identity to the Town. Preferred materials include brick and cast concrete. Stucco lacks appropriate scale and texture, and should generally be avoided unless the stucco has an integral pigment and is scored to define human-scaled dimensions on the façade.
3. Building details should be designed at two scales. At the larger scale, details should be robust so as to be read from a distance. Nearer to the building, the details of the lower levels should include another measure of refinement that can only be seen up-close at a pedestrian scale.
4. Building design elements should be used which allow civic buildings to act as focal points of the community. Depending on the architectural style of the building, the following elements should be considered in the building design:
 - a. Pronounced window lintels/sills/muntins/etc.,
 - b. Columns with a capital and base,
 - c. A water table constructed of high-quality masonry units (such as cast stone) that extends beyond the face of the facade,
 - d. Vertically oriented windows of at least a 2:1 ratio,
 - e. Cornice lines with significant depth and multiple levels of relief,
 - f. A monumental raised entryway,
 - g. A formal landscaped area or plaza, and
 - h. A tower element with a turret, cupola, or similar treatment.

CIVIC BUILDING SYMMETRY [4.7.2.B.1]



ROOF FORMS AND ELEMENTS THAT DISTINGUISH CIVIC BUILDINGS [4.7.2.D.4]

